



## Administrative Special Use Permit Application

Department of Planning & Zoning  
301 King Street, Room 2100, Alexandria, Virginia 22314  
Phone: 703.746.4666 | [www.alexandriava.gov/planning](http://www.alexandriava.gov/planning)

BIDC 2022-002

**PROPERTY LOCATION:** 2213 Mount Vernon Avenue Alexandria, VA 22301

**ZONE:** CL

**TAX MAP REFERENCE:** 034.02-12-01

### APPLICANT'S INFORMATION:

**Applicant:** Abderrahim (Rayan) Moussaif

**Business/Trade Name:** Gostov Boulangerie & Brasserie, Inc.

**Address:** 2213 Mount Vernon Avenue Alexandria, VA 22301

**Phone:** 703-853-6071

**Email:** mrayanmds@gmail.com

### PROPOSED USE:

Animal Care with Overnight Accommodations  
Auto Trailer Rental or Sales  
Catering Operation  
Child and Elder Care Homes  
Day Care Center  
Health and Athletic Club  
Light Assembly, Service, and Craft  
Light Auto Repair  
Live Theater

Restaurant

Massage Establishment  
Outdoor Dining (Other than King Street Outdoor Dining Area)  
Outdoor Food and Crafts Market  
Outdoor Garden Center  
Outdoor Display  
Public School Trailers  
Valet Parking  
Vehicle Parking or Storage for More Than 20 Vehicles

### PROPERTY OWNER'S AUTHORIZATION

As the property owner, I hereby grant the applicant use of 2213 Mount Vernon Avenue (property address), for the purposes of operating a restaurant (use) business as described in this application. I also grant permission to the City of Alexandria to visit, inspect, photograph and post placard notice on my property.

Name: Abderrahim (Rayan) Moussaif

Phone: 703-853-6071

Address: 2213 Mount Vernon Avenue

Email: mrayanmds@gmail.com

Signature: 

Date: 4-25-2022

1. The applicant is the (check one):

Owner

Contract Purchaser Lessee or

Other:

of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner and the percent of ownership.

Abderrahim (Rayan) Moussaif - Registered Agent of the Domestic Corporation (File#11354888)  
2213 Mount Vernon Avenue  
Alexandria, VA 22301

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

N/A

Yes. Provide proof of current City business license

No. The agent shall obtain a business license prior to filing application, if required by the City Code.

**USE CHARACTERISTICS**

2. Please give a brief statement describing the use:

French cafe bistro offering French cuisine and beverages in a casual dining atmosphere.

3. Please describe the proposed hours of operation:

Days	Hours
Daily	Monday - Sunday

Or give hours for each day of the week

Monday	7:00am - 10:00p
Tuesday	7:00am - 10:00p
Wednesday	7:00am - 10:00p
Thursday	7:00am - 10:00p
Friday	7:00am - 10:00p
Saturday	7:00am - 10:00p
Sunday	7:00am - 10:00p

4. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect? Specify time period (i.e., day, hour, or shift).

The capacity shall not exceed 47 dining occupants at one time.

B. How many employees, staff and other personnel do you expect? Specify time period (i.e., day, hour, or shift).

One to three full-time employees shall be on site during operating hours.

5. A. How many parking spaces of each type are provided for the proposed use:

Standard and compact spaces	
Handicapped accessible spaces	
Exempt	Other

B. Please give the number of:

Exempt                      Parking spaces on-site

Exempt                      Parking spaces off-site

If the required parking will be located off-site, where will it be located?

Exempt.

6. Please provide information regarding loading and unloading for the use:

A. How many loading spaces are available for the use?

The existing on-site 400 SF garage will be used for loading and unloading.

B. Where are off-street loading spaces located?

N/A

C. During what hours of the day do you expect loading/unloading operations to occur?

Deliveries are expected between the hours of 6:30am and 10:30am.

D. How frequently are loading/unloading operations expected to occur per day or per week?

Three to five times weekly.

7. If any hazardous materials or organic compounds (for example paint, ink, lacquer thinner, or cleaning or degreasing solvent), as defined by the state or federal government, be handled, stored, or generated on the property, provide the name, monthly quantity, and specific disposal method below:

N/A

8. What is the square footage the use will be occupying?

1,210                      square feet

**APPLICANT'S SIGNATURE**

Please read and initial each statement:

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff to visit, inspect, and photograph the building premises, land etc., connected with the application.

**Print Name of Applicant or Representative**

**Signature**



**Date** 4-25-2022

If this application is being filed by someone other than the business owner (such as an agent or attorney), please provide the information below:

Representative's Address:

Phone:

Email:

Fax:



**Department of Planning & Zoning**  
**Administrative Special Use Permit New Use Checklist**

**Application form**

**Application fee**

**Supplemental Worksheet for the following uses:**

Catering Operation

Child or Elder Care Home

Day care Center

Light Automobile Repair, Auto & Trailer Rental or Sales, Vehicle Parking or Storage

Live Theater

Outdoor Dining

Outdoor Display

Outdoor Food and Crafts Market

Outdoor Garden Center

Valet Parking

**Interior floor plan**

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

**Contextual site image**

Show subject site, on-site parking area, surrounding buildings, cross streets

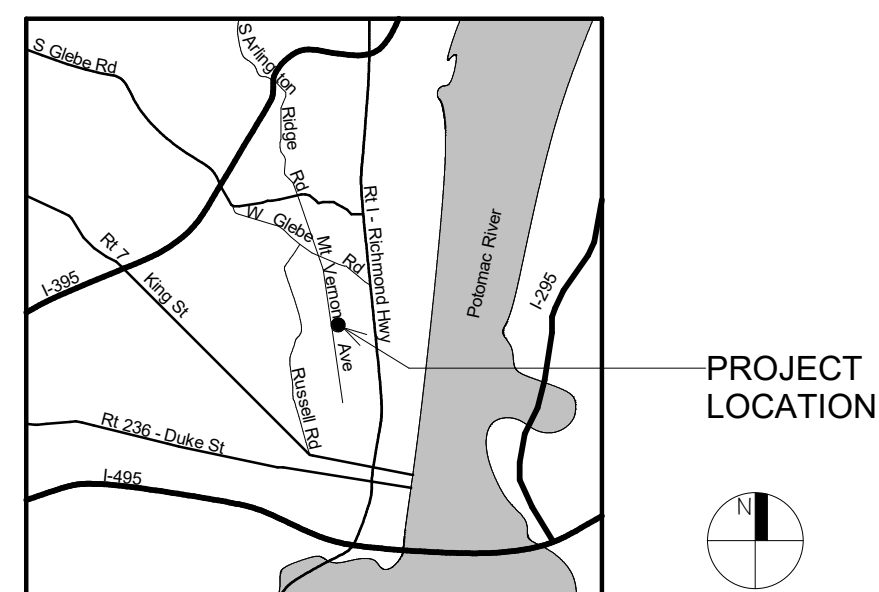
**If applicable**

Outdoor plan for outdoor uses

# Gostov Boulangerie & Brasserie, Inc.

2213 Mount Vernon Avenue  
Alexandria, VA 22301

## VICINITY MAP



## LOCATION MAP



## APPLICABLE CODES

THE BUILDING CODE FOR THIS PROJECT IS THE VIRGINIA EXISTING BUILDING CODE (VEBC) 2018 EDITION. ALL WORK SHALL CONFORM TO THE BUILDING CODE.

THE PROJECT IS CLASSIFIED AS A LEVEL 2 ALTERATION UNDER SECTION 603 OF THE VIRGINIA EXISTING BUILDING CODE (VEBC) 2018 EDITION. ALL WORK SHALL CONFORM TO THE BUILDING CODE.

THE ACCESSIBILITY CODE FOR THIS PROJECT IS THE ANSI A117.1-2017.

## BUILDING CODE

ORIGINAL YEAR BUILT:	1942
EXISTING USE GROUP:	B
PROPOSED USE GROUP:	A-2
CONSTRUCTION TYPE:	IIIB
SPRINKLERED:	NO
FIRE ALARM:	NO
EXISTING BUILDING AREA:	3,160 SF
EXISTING BUILDING HEIGHT:	2 STORIES + BASEMENT W / ATTACHED GARAGE
PROJECT AREA:	279 SF

## CHANGE OF OCCUPANCY

PER CHAPTER 7 OF THE VEBC, THE BUILDING IS CHANGING USE FROM B, BUSINESS TO A-2, ASSEMBLY (RESTAURANT).

PER SEC 704.2 OF THE VEBC AND SEC 903.2.1.2 OF THE 2018 VCC, THE A-2 RESTAURANT IS LESS THAN 5,000 SF, HAS AN OCCUPANT LOAD OF LESS THAN 100, AND IS LOCATED ON THE LEVEL OF EXIT DISCHARGE, AND IS THEREFORE EXEMPT FROM HAVING TO PROVIDE AN AUTOMATIC SPRINKLER SYSTEM. AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED.

PER SEC 705.3.5 EXCEPTION (3), THE EXISTING INTERIOR STAIRWAYS SHALL HAVE A 30-MINUTE ENCLOSURE. A NEW INTERIOR 30-MINUTE RATED DOOR HAS BEEN ADDED TO THE EXISTING STAIR TO SATISFY THE 30 MINUTE ENCLOSURE REQUIREMENT.

SEE 'OCCUPANCY LEGEND' ON G1.01 FOR OCCUPANCY CALCULATIONS.

## ZONING CODE

PER THE ZONING ORDINANCE OF THE CITY OF ALEXANDRIA, VIRGINIA, THIS PROPERTY IS ZONED 'CL' (SMALL SCALE RETAIL AND SERVICE USES OFFERING PEDESTRIAN ORIENTED SHOPPING AND SERVICES FOR INDIVIDUAL CONSUMERS AND HOUSEHOLDS LOCATED PRIMARILY IN NEARBY RESIDENTIAL AREAS.).

## MOUNT VERNON OVERLAY DISTRICT

HAVING FRONTAGE ON MOUNT VERNON AVENUE, THIS PROPERTY LIES WITHIN THE OVERLAY ZONE AS OUTLINED IN SEC 6-602(A), AND WITHIN THE RETAIL FOCUS AREA AS OUTLINED IN SEC 6-602(B) OF THE MOUNT VERNON AVENUE URBAN OVERLAY ZONE AND AS DOCUMENTED ON THE MOUNT VERNON URBAN OVERLAY MAP (2017).

PER SEC 6-603(C)2 OF THE ZONING ORDINANCE OF THE CITY OF ALEXANDRIA, VIRGINIA, A RESTAURANT IS PERMITTED, MEETS THE SEC 6-601(A) PROVISION OF PROMOTING AN ACTIVE RETAIL STREET, AND MEETS FIRST FLOOR REQUIREMENTS FOR RETAIL AND NEIGHBORHOOD FOCUS USES INDICATED IN SEC 6-603(C).

## PARKING CALCULATIONS

2213 MOUNT VERNON AVENUE IS LOCATED WITHIN THE ZONE MARKED "ENHANCED TRANSIT AREA."

PER ZONING CODE SECTION 8-200, A, 17 & 19:

PARKING CLASS	AREA (SF)	PARKING FACTOR		PARKING REQ'D MIN	PARKING REQ'D MAX
		MIN	MAX		
OFFICE - SECOND FLOOR	1,296				
OFFICE - FIRST FLOOR	228				
<b>SUBTOTAL</b>	<b>1,524</b>	<b>0.25</b>	<b>1.50</b>	<b>0.25</b>	<b>1.50</b>
RESTAURANT - FIRST FLOOR	947				
RESTAURANT - BASEMENT	263				
<b>SUBTOTAL</b>	<b>1,210</b>	<b>1.00</b>	<b>3.00</b>	<b>1.00</b>	<b>3.00</b>
<b>TOTAL</b>				<b>1.25</b>	<b>4.50</b>

PER ZONING CODE SECTION 8-100, A, 9, "NONRESIDENTIAL USES THAT HAVE A MINIMUM PARKING REQUIREMENT OF 2 SPACES OR LESS SHALL BE EXEMPT FROM PROVIDING THE SPACES." THE REQUIRED PARKING IS ZERO (0) SPACES.

OUTDOOR DINING, AS REFERENCED IN ZONING CODE SECTION 8-200, A, 17, c, SHALL BE PERMITTED BY THE OWNER UNDER A SEPARATE PROCESS.

## SHEET INDEX

General	
GO.01	Cover Sheet
G1.01	Basement, First Floor and Second Floor Egress Plans & Occupancy Calculations

Architectural	
AD1.01	Basement and First Floor Demolition Plans
AD1.02	Basement and First Floor Demolition RCPs
A1.01	Basement and First Floor Plans
A1.02	First Floor RCP
A5.01	Millwork Elevations and Section Details

Mechanical	
MO.01	Cover Sheet - Mechanical
M1.01	Floor Plan Schedules - Mechanical

Plumbing	
P1.01	Floor Plan - Plumbing

Electrical	
EO.01	Cover Sheet - Electrical
E1.01	Lighting Plan - Electrical
E2.01	Floor Power Plan - Electrical
E3.01	Power Riser & Panel Schedule - Electrical

## DESCRIPTION OF WORK

THE PROJECT CONSISTS OF THE INSTALLATION OF MILLWORK, COUNTERTOPS, DOORS, ELECTRICAL, AND ASSOCIATED MECHANICAL WORK FOR A FOOD SERVICE AREA.

SIGNAGE IS NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PROJECT. AN APPLICATION FOR THE SIGNAGE PERMIT SHALL BE SUBMITTED UNDER SEPARATE COVER.

## OCCUPANCY AND WATER CLOSET CALCULATIONS

FLOOR	FUNCTION OF SPACE	ABBR	PHASE	OCCUPANT COUNT PER VCC TABLE 1004.5		PLUMB FIXTURES REQ'D PER VPC TABLE 403.1		
				AREA (SF)	OCC LOAD FACTOR	OCC COUNT	WATER CL RATIO	WATER CL REQ'D
BASEMENT	COMMERCIAL KITCHEN	(K)	EXIST	263	200	2	1 PER 75	0.03
	ACCESSORY STORAGE, MECH EQUIP RM	(S)	EXIST	256	300	1	1 PER 100	0.01
	<b>TOTAL</b>							<b>0.77</b>
FIRST FLOOR	ASSEMBLY AREAS, UNCONCENTRATED TABLES & CHAIRS	(AU)	NEW	685	15	46	1 PER 75	0.61
	COMMERCIAL KITCHEN	(K)	NEW	262	200	2	1 PER 75	0.03
	BUSINESS	(B)	EXIST	228	150	2	1 PER 25	0.08
	ACCESSORY STORAGE, MECH EQUIP RM	(S)	EXIST	32	300	1	1 PER 100	0.01
<b>TOTAL</b>							<b>0.77</b>	
SECOND FLOOR	BUSINESS	(B)	EXIST	1,296	150	9	1 PER 25	0.36
<b>TOTAL</b>								<b>0.36</b>

THE BASEMENT AND FIRST FLOOR RESTAURANT ARE REQUIRED TO HAVE 0.77 OR 1 TOILET; THERE IS 1 TOILET ON THE FIRST FLOOR THAT IS EXISTING TO REMAIN.

THE SECOND FLOOR BUSINESS OFFICE IS REQUIRED TO HAVE 0.36 OR 1 TOILET; THERE ARE 2 TOILETS ON THE SECOND FLOOR THAT ARE EXISTING TO REMAIN.

## DRAWING SYMBOLS

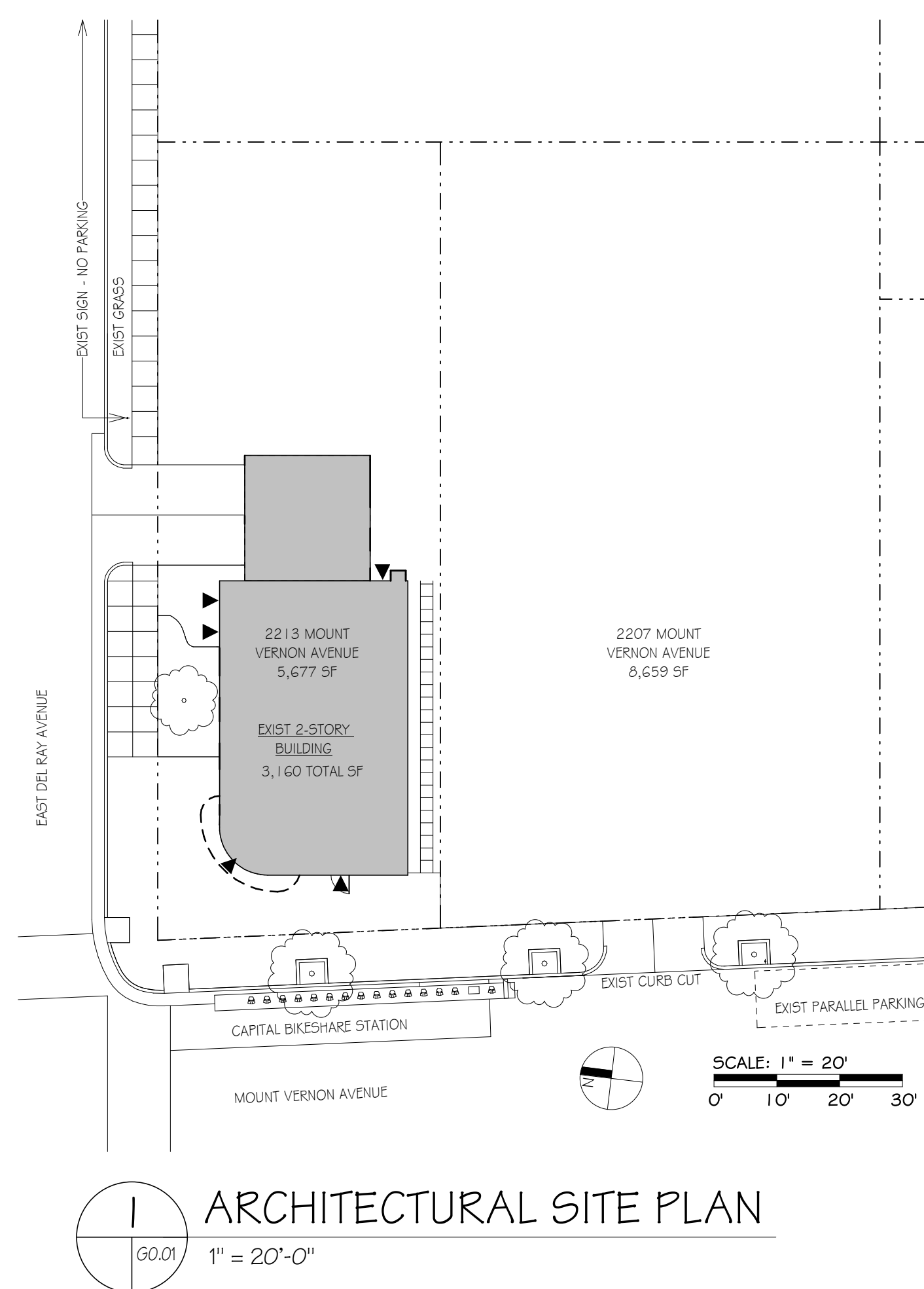
	LEVEL MARKER
	ROOM NAME & NUMBER
	DOOR TYPE
	SECTION REFERENCE
	INTERIOR ELEVATION

## PHASING

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW CONSTRUCTION

## MATERIALS

	WOOD LUMBER
	PLYWOOD
	GYPSUM WALLBOARD
	BATT INSULATION
	RIGID INSULATION
	SEALANT



1 ARCHITECTURAL SITE PLAN  
60.01 1" = 20'-0"

## Cole&DennyArchitects

333 North Fairfax Street  
Alexandria, Virginia 22314

703.684.5994  
coleanddenny.com

Consultants

Mechanical, Electrical & Plumbing Engineer:

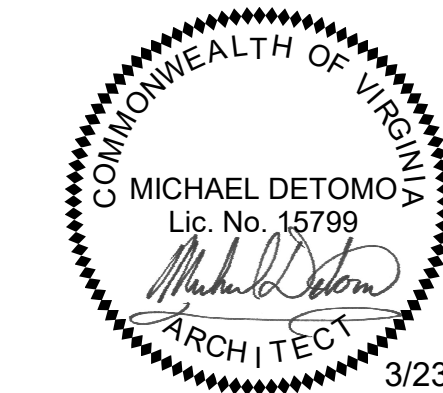
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Gostov Boulangerie & Brasserie, Inc.

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Alexandria, VA 22301

Seal



Key Plan

Drawing

Cover Sheet

Submission Set

PERMIT SUBMISSION	03/23/2022
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Revisions

No.	Revision	Date
1	Permit Review Comments	05/02/2022

Date 23 March 2022

Project No. 18001.05

Sheet No.

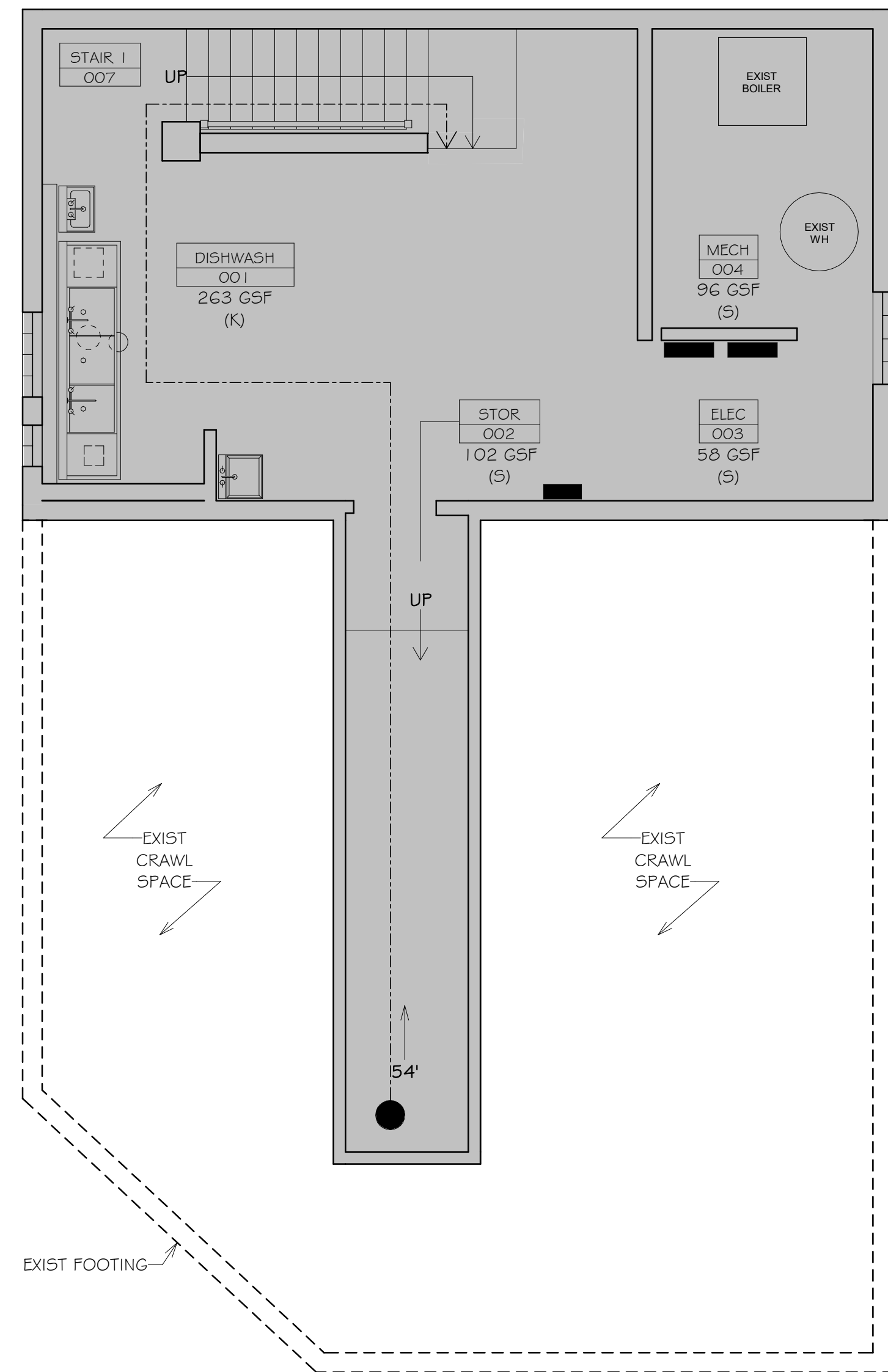
# G0.01

# EGRESS LEGEND

- 30-MIN FIRE RESISTANT RATED ENCLOSURE
- EGRESS STARTING POINT
- COMMON PATH OF TRAVEL (<75')
- POINT AT WHICH A CHOICE OF TWO EXITS BECOMES AVAILABLE
- REMAINING TRAVEL DISTANCE (REMAINING TRAVEL DISTANCE + COMMON PATH OF TRAVEL <200')

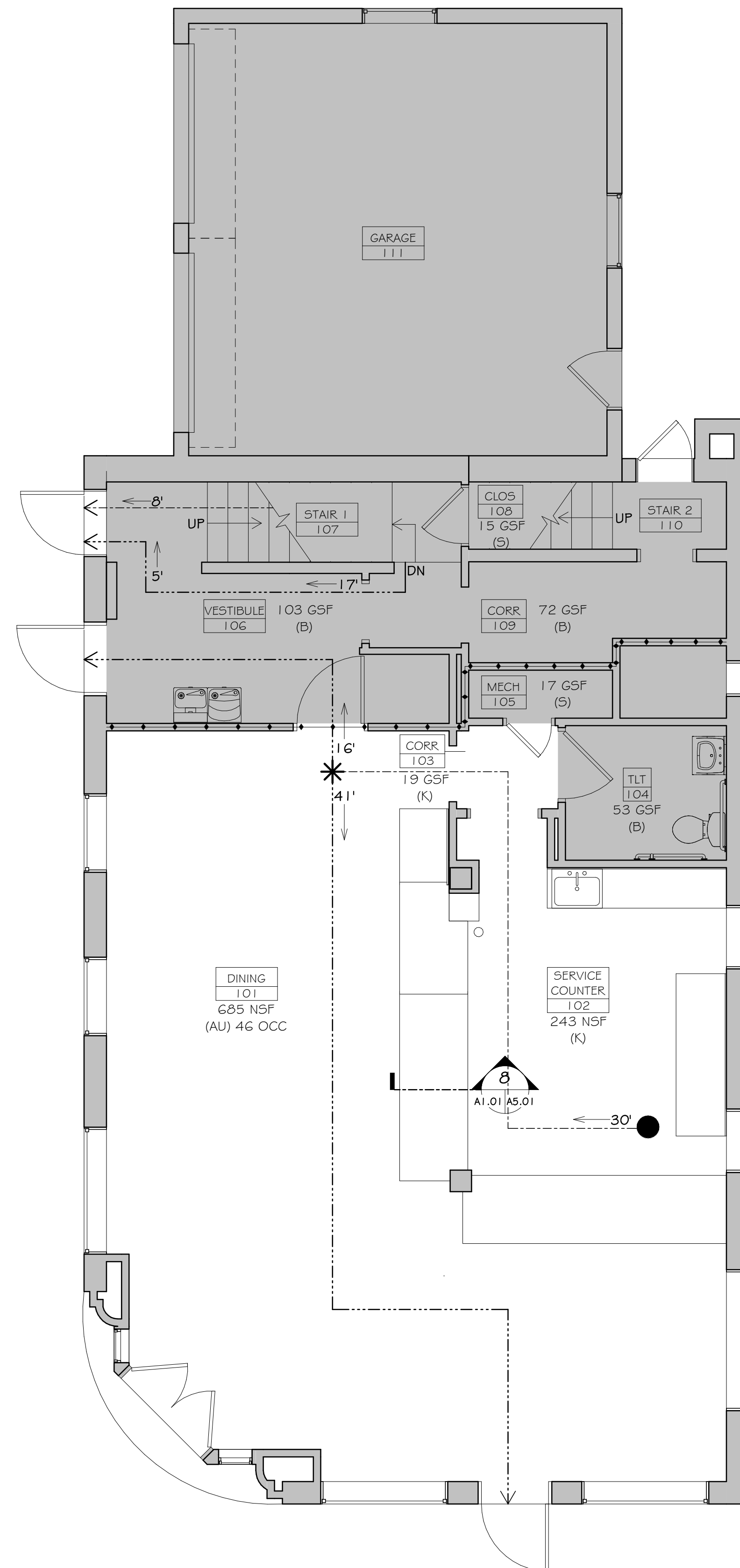
# PHASING

- EXISTING TO REMAIN
- NEW CONSTRUCTION



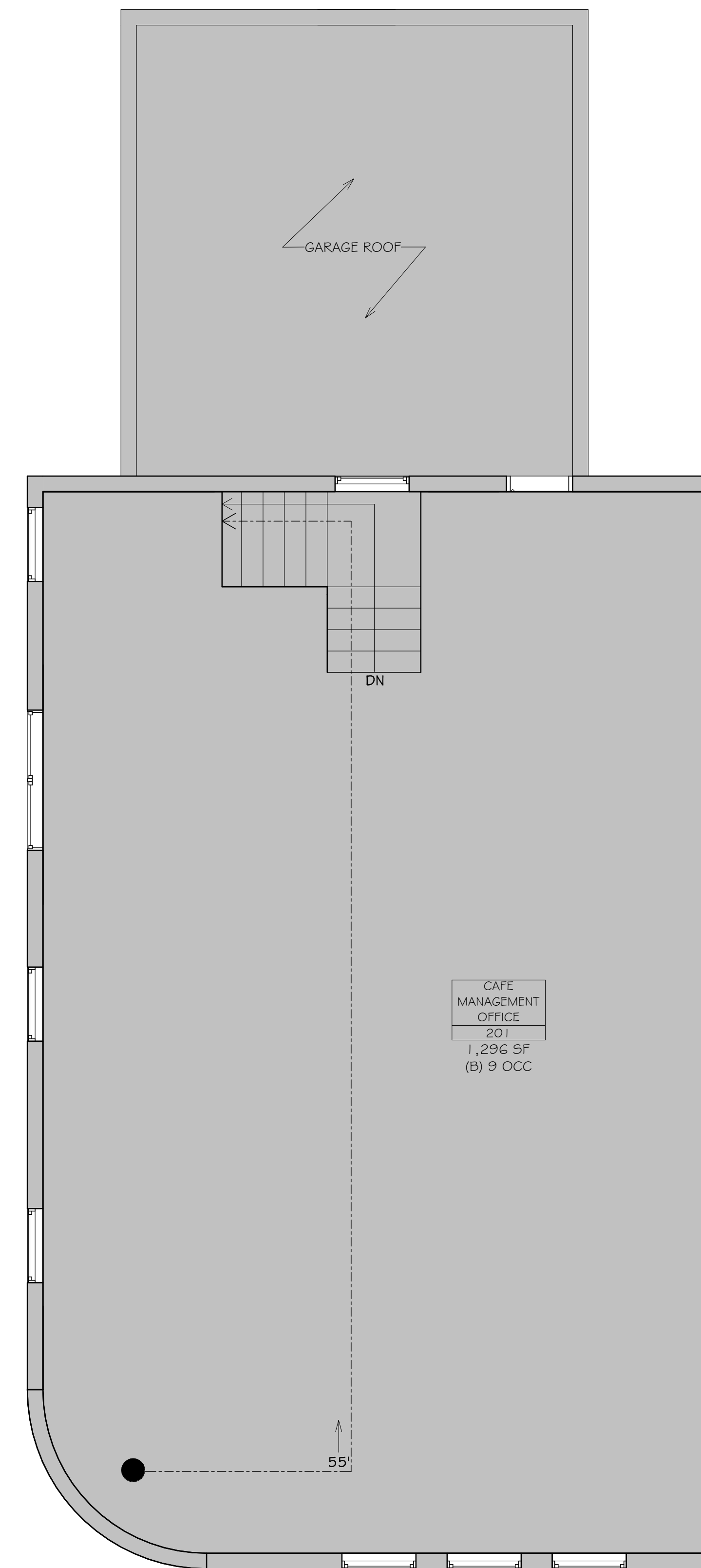
TOTAL BASEMENT OCCUPANTS = 3

**2** BASEMENT EGRESS FLOOR PLAN  
G1.01 1/4" = 1'-0"



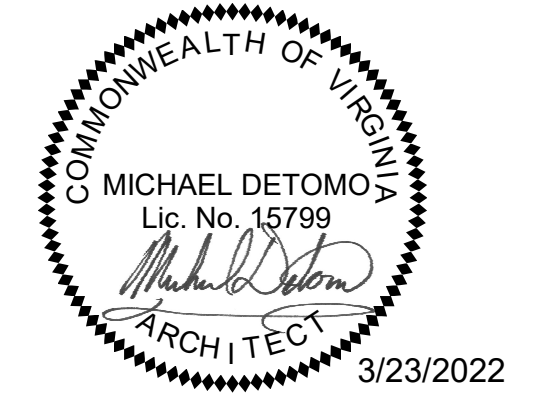
TOTAL FIRST FLOOR OCCUPANTS = 51

**1** FIRST FLOOR EGRESS PLAN  
G1.01 1/4" = 1'-0"



TOTAL SECOND FLOOR OCCUPANTS = 9

**3** SECOND FLOOR EGRESS PLAN  
G1.01 1/4" = 1'-0"



## Drawing

### Basement, First Floor and Second Floor Egress Plans & Occupancy Calculations

Submission Set

PERMIT SUBMISSION	03/23/2022
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Revisions

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1	Permit Review Comments	05/02/2022

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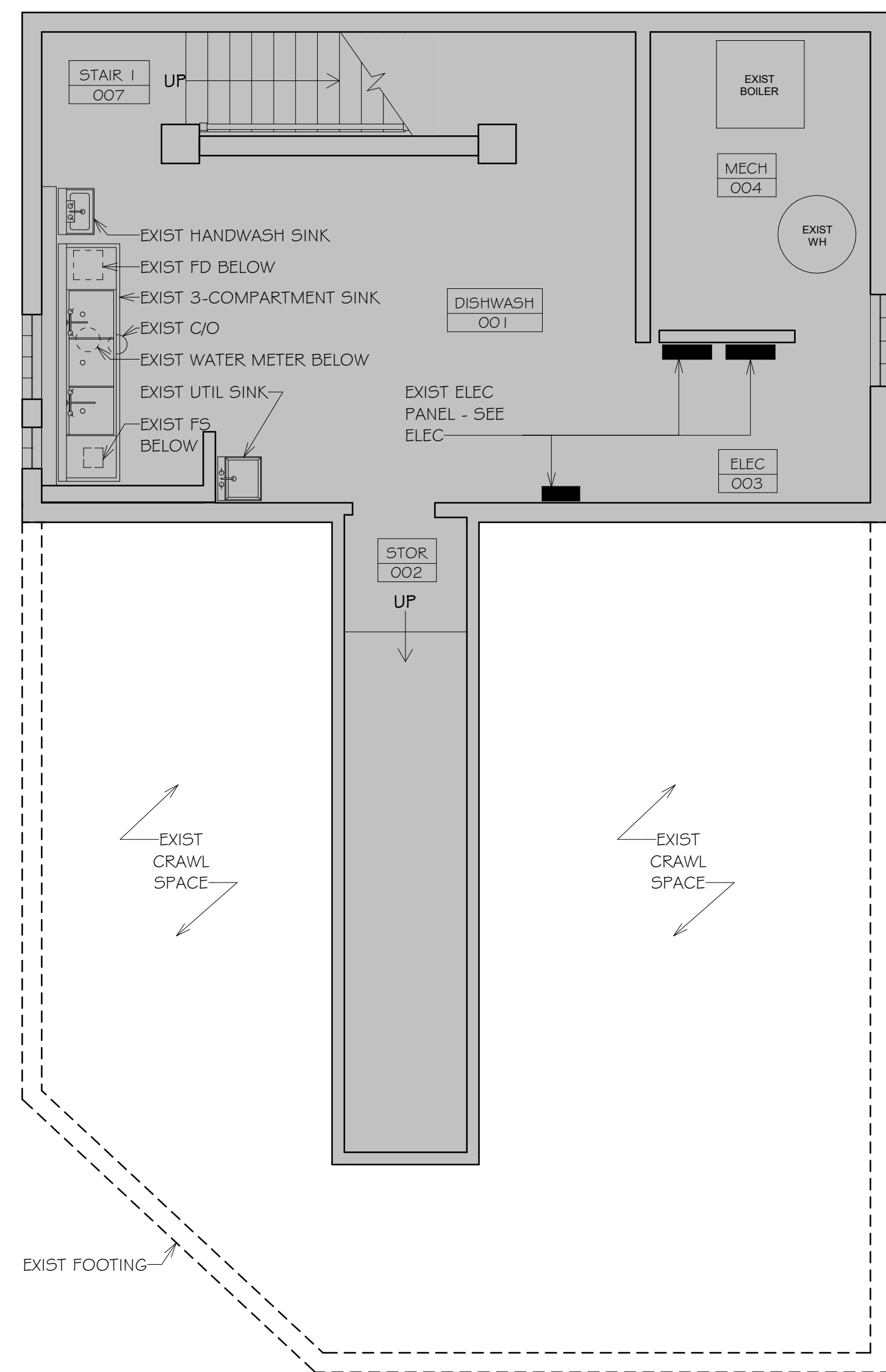
No.	Revision	Date

**PHASING**

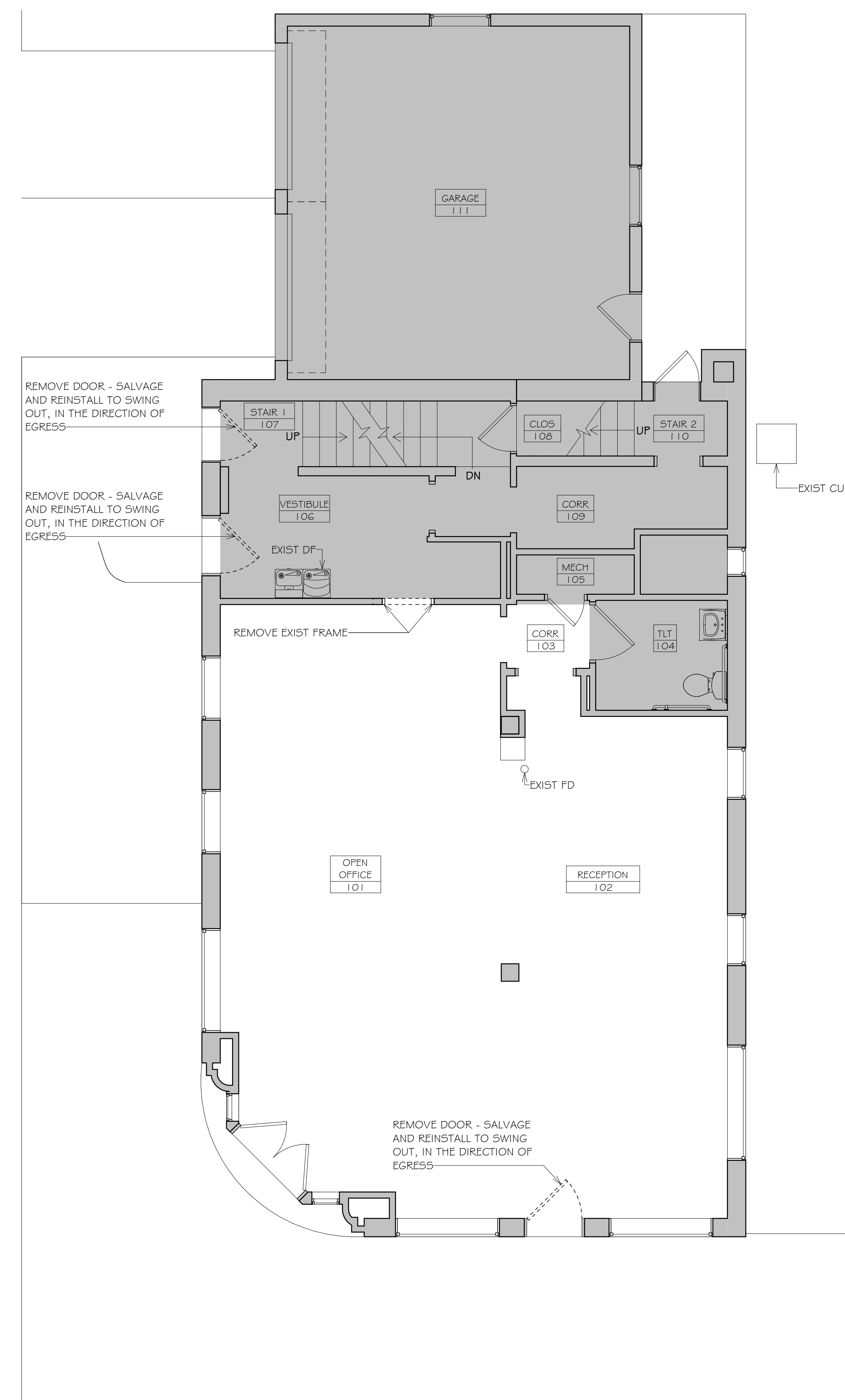
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

**GENERAL DEMOLITION NOTES**

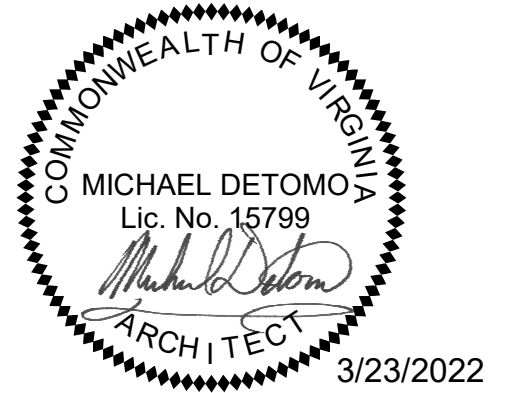
1. ALL EXISTING DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED.
2. REQUIRED DEMOLITION SHALL NOT BE LIMITED TO THAT PORTION ON THE PLANS, BUT SHALL INCLUDE ALL NECESSARY WORK (OR INCIDENTAL THERE TO) TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. REMOVE FLOOR, WALL, AND CEILING FINISHES AND CONSTRUCTION AS INDICATED.
4. REPAIR EXISTING CONSTRUCTION TO REMAIN WHERE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK IS REMOVED TO MATCH EXISTING CONSTRUCTION. WHERE MASONRY IS EXPOSED, TOOTH-IN NEW WORK WITH FULL-SIZE MASONRY UNITS.
5. PREPARE REMAINING SPACE TO RECEIVE NEW CONSTRUCTION. PATCH ALL AREAS INCLUDING BUT NOT LIMITED TO ROOFS, WALLS, FLOORING, AND SLABS. ALL PATCH WORK TO MATCH EXISTING.
6. PATCH AS REQUIRED TO ACCOMMODATE NEW MECHANICAL, PLUMBING, AND ELECTRICAL WORK. REFER TO ENGINEERING DRAWINGS. ALL NEW WORK SHALL BE CONCEALED UNLESS NOTED OTHERWISE.



**1** BASEMENT DEMOLITION FLOOR PLAN  
1/4" = 1'-0"



**2** FIRST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"  
SCALE: 1/4" = 1'-0"  
0' 2' 4' 8'



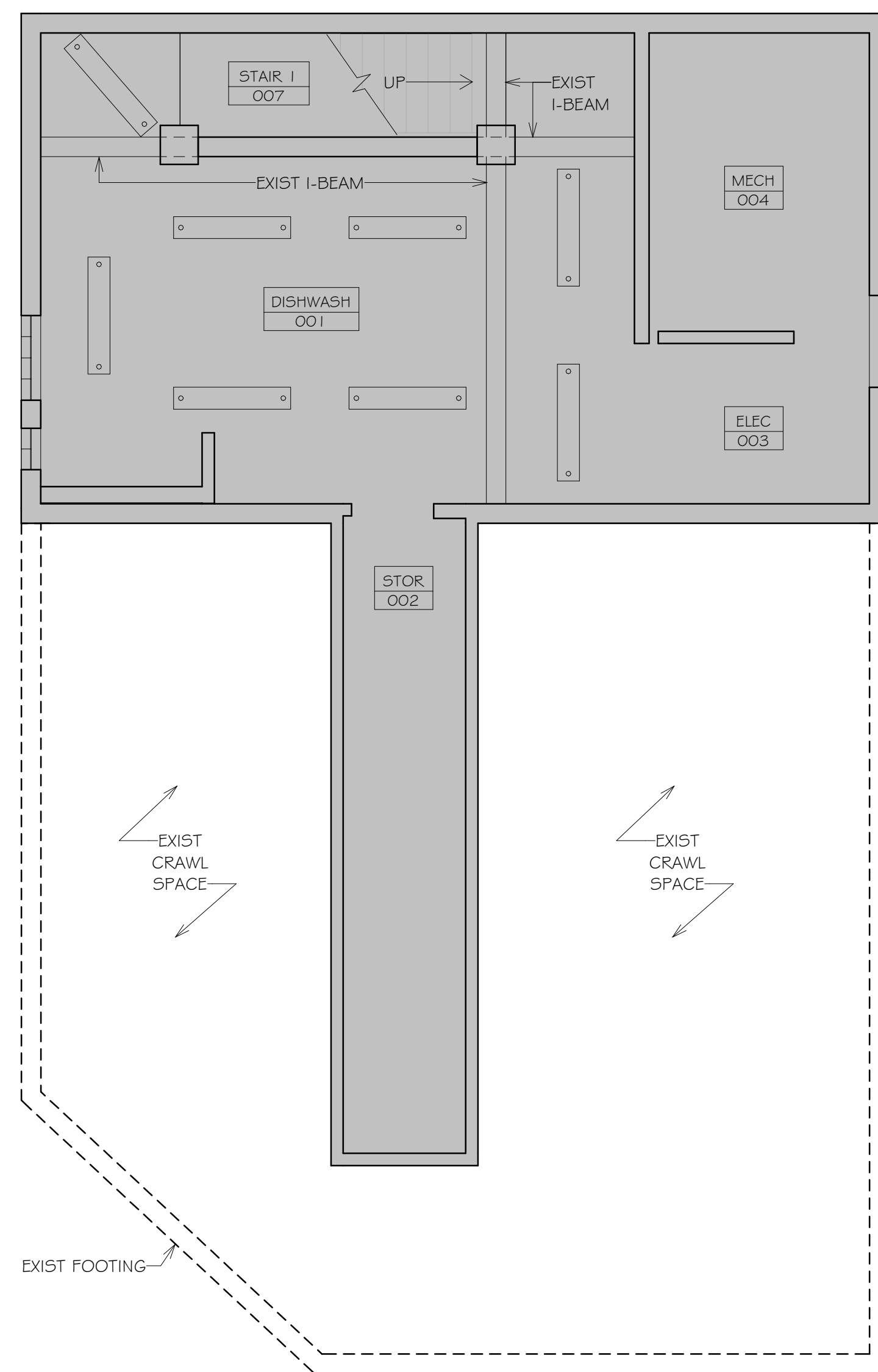
No.	Revision	Date

**PHASING**

- EXISTING TO REMAIN
- NEW CONSTRUCTION

**DEMOLITION RCP SYMBOLS**

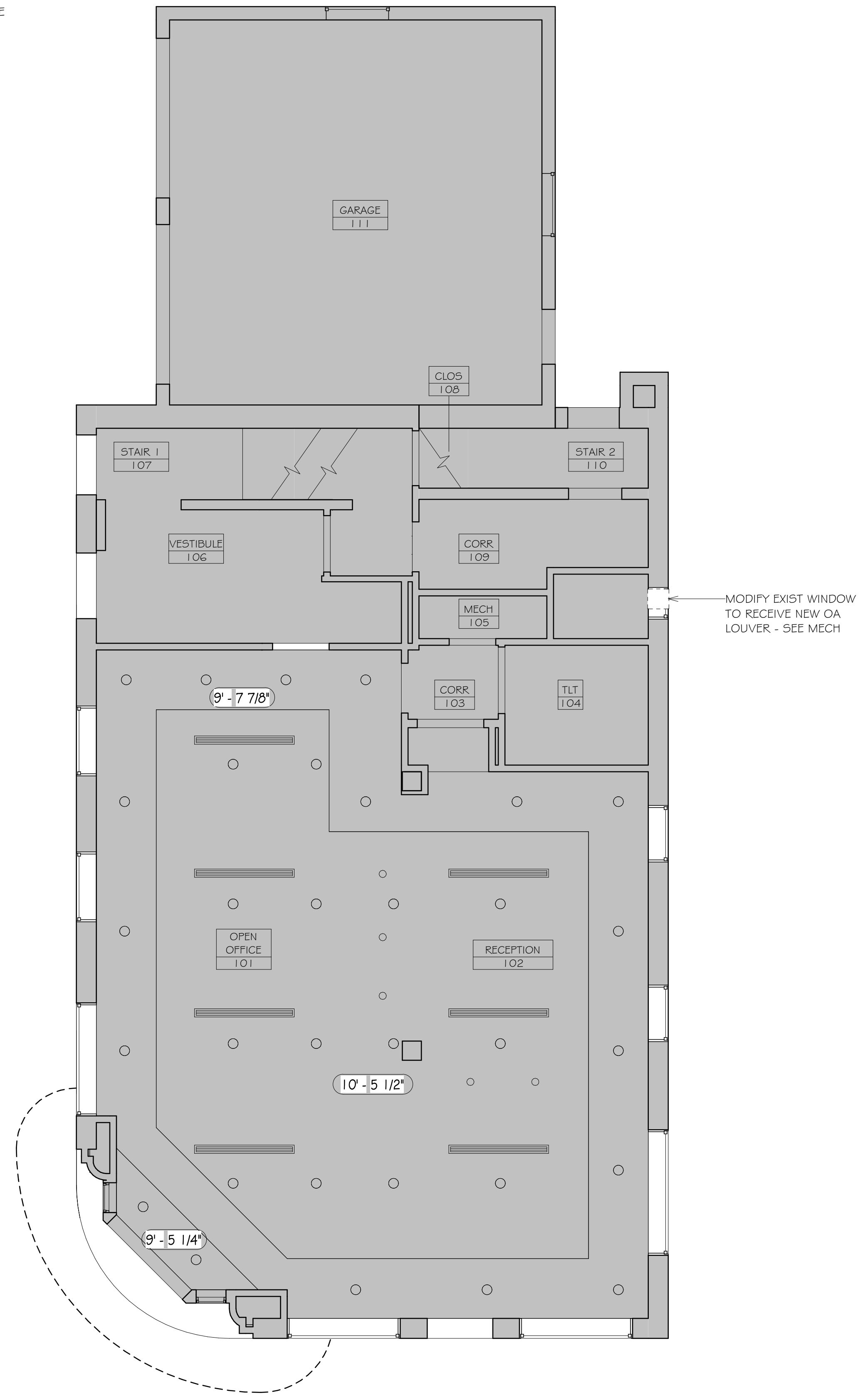
- 1 X 4 FLUSH MOUNT FIXTURE - ETR
- 6" RECESSED CAN FIXTURE - ETR
- ART GLASS PENDANT FIXTURE - ETR
- LINEAR DIFFUSER (ETR) - SEE MECH.



**1 BASEMENT DEMOLITION RCP**  
AD1.02 1/4" = 1'-0"

**GENERAL DEMOLITION NOTES**

1. ALL EXISTING DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED.
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6. PATCH AS REQUIRED TO ACCOMMODATE NEW MECHANICAL, PLUMBING, AND ELECTRICAL WORK. REFER TO ENGINEERING DRAWINGS. ALL NEW WORK SHALL BE CONCEALED UNLESS NOTED OTHERWISE.



**2 FIRST FLOOR DEMOLITION RCP**  
AD1.02 1/4" = 1'-0"

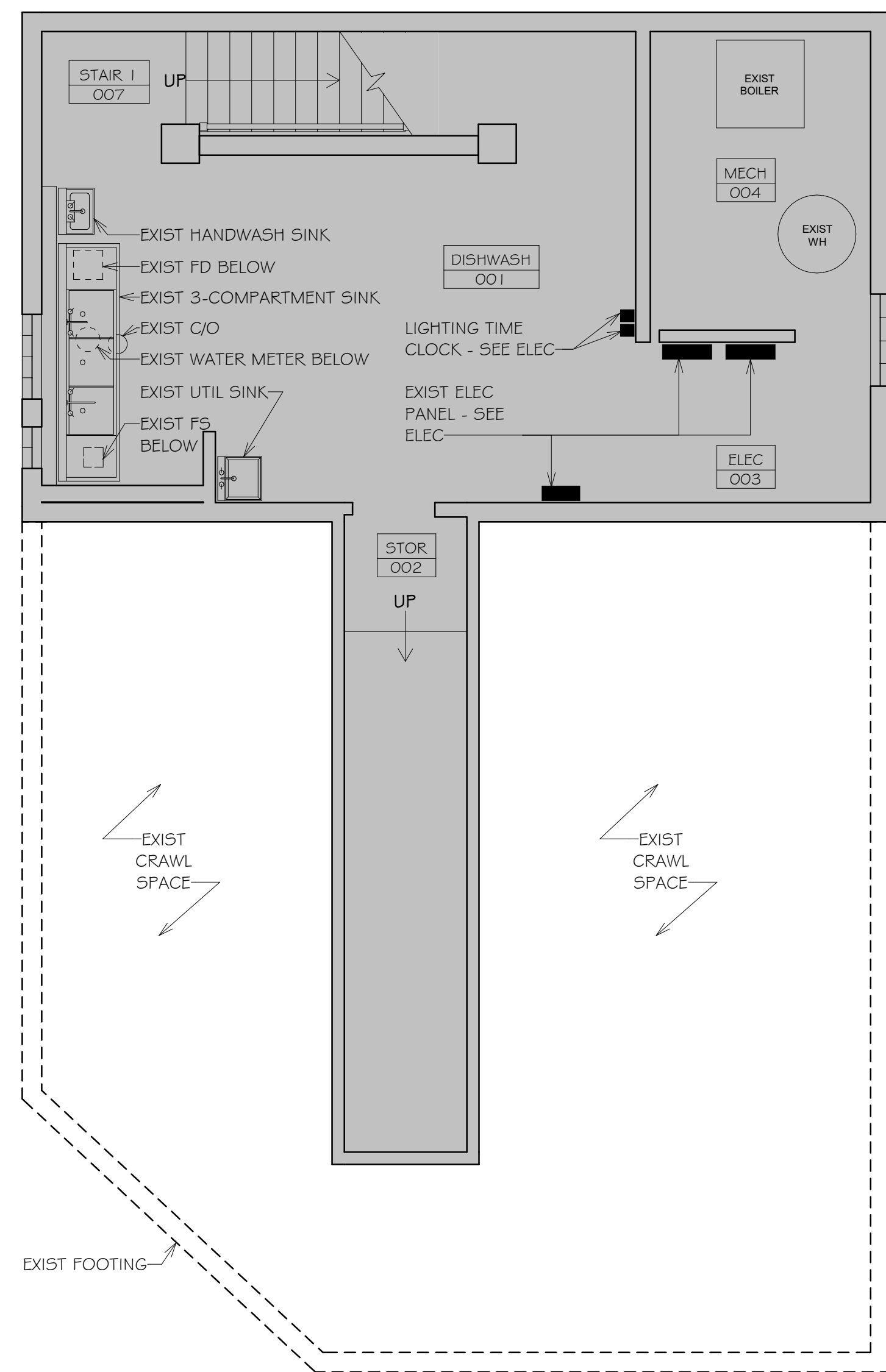
SCALE: 1/4" = 1'-0"  
0' 2' 4' 8'

# PHASING

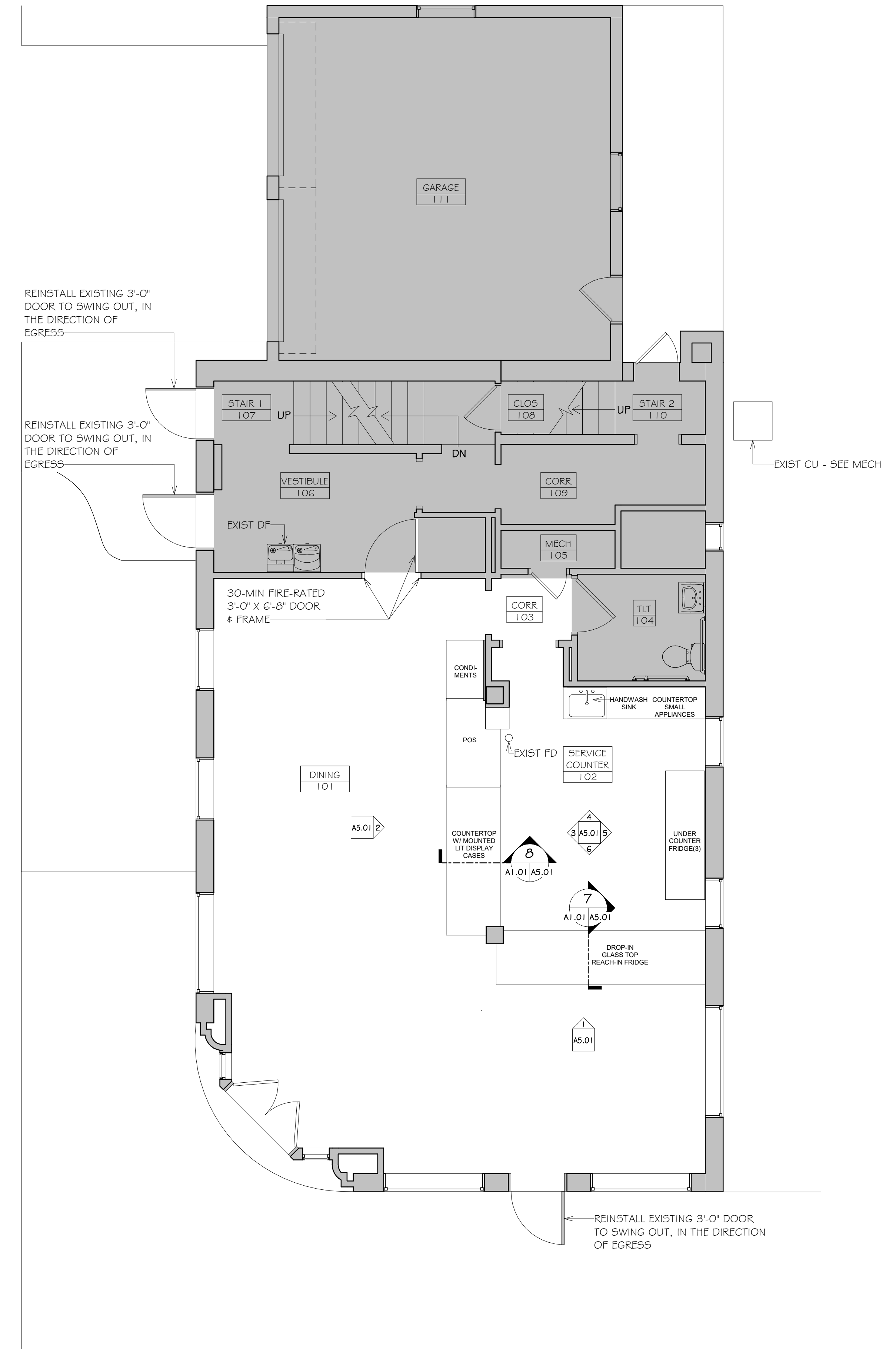
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

# GENERAL NEW WORK NOTES

1. DIMENSIONS ARE TO FINISH FACE OF CONSTRUCTION UNLESS OTHERWISE INDICATED.
2. OUTSIDE OF DOOR JAMBS TO BE 4" FROM WALL INTERSECTION UNLESS OTHERWISE INDICATED.
3. PROVIDE NON-COMBUSTIBLE OR FIRE RETARDANT TREATED WOOD BLOCKING IN PARTITIONS WHERE REQUIRED TO SUPPORT WALL MOUNTED ITEMS SUCH AS TELEVISIONS, DIGITAL MEDIA PLAYERS, DRY ERASE BOARDS, SMART BOARDS, ETC. SEE FLOOR PLAN. GC SHALL COORDINATE WITH OWNER FOR LOCATIONS OF BLOCKING. THE OWNER SHALL PROVIDE THESE WALL MOUNTED DEVICES.
4. "TOOTH-IN" MASONRY WHERE ALTERING OR REPAIRING EXISTING MASONRY. MORTAR COLOR SHALL MATCH EXISTING MORTAR.



**1 BASEMENT FLOOR PLAN**  
 1/4" = 1'-0"



**2 FIRST FLOOR PLAN**  
 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8'

333 North Fairfax Street  
 Alexandria, Virginia 22314

703.684.5994  
 coleanddenny.com

Consultants

Mechanical, Electrical & Plumbing Engineer:

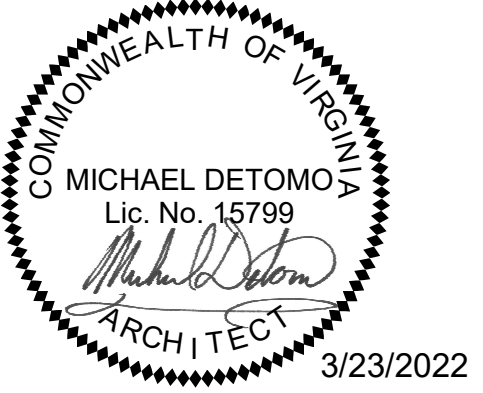
**MEGA CONSULTING ENGINEERS, PLLC**

3615 Chain Bridge Road, Suite H  
 Fairfax, VA 22030  
 703-470-7782

**Gostov Boulangerie & Brasserie, Inc.**

2213 Mount Vernon Avenue  
 Alexandria, VA 22301

Seal



Key Plan

Drawing  
**Basement and First Floor Plans**

Submission Set

PERMIT SUBMISSION 03/23/2022

Revisions

No.	Revision	Date

Date 23 March 2022

Project No. 18001.05

Sheet No.

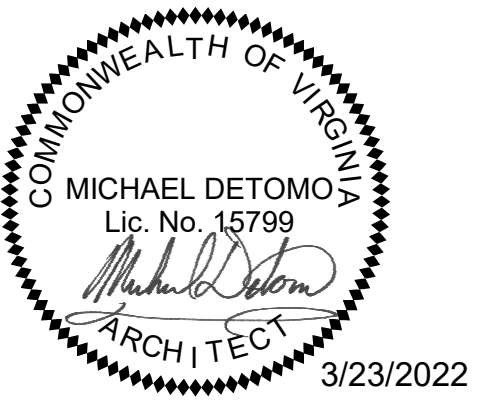
**A1.01**

**PHASING**

- EXISTING TO REMAIN
- NEW CONSTRUCTION

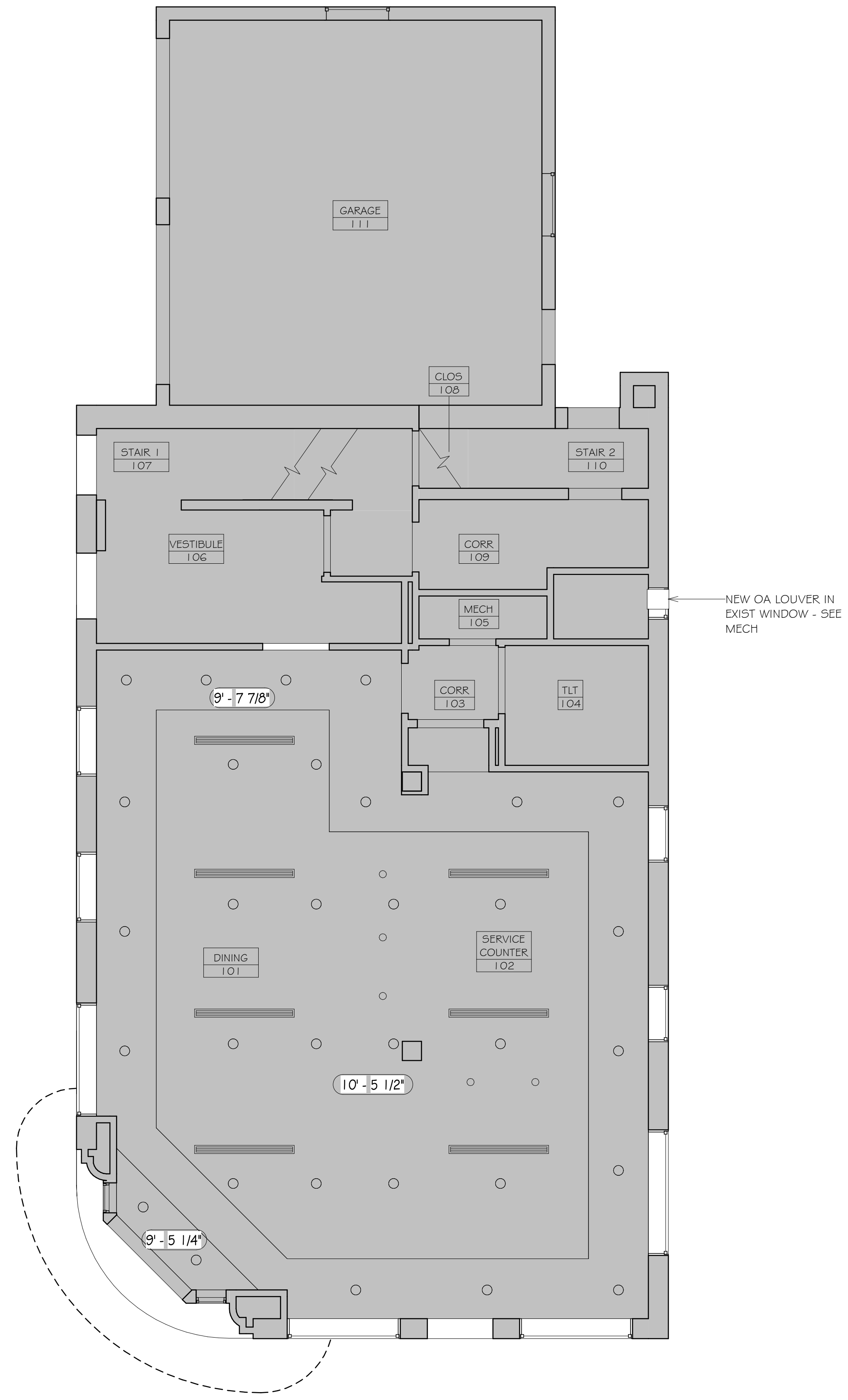
**RCP SYMBOLS**

- 1 X 4 FLUSH MOUNT FIXTURE - ETR
- 6" RECESSED CAN FIXTURE - ETR
- ART GLASS PENDANT FIXTURE - ETR
- LINEAR DIFFUSER (ETR) - SEE MECH.



PERMIT SUBMISSION	03/23/2022

No.	Revision	Date

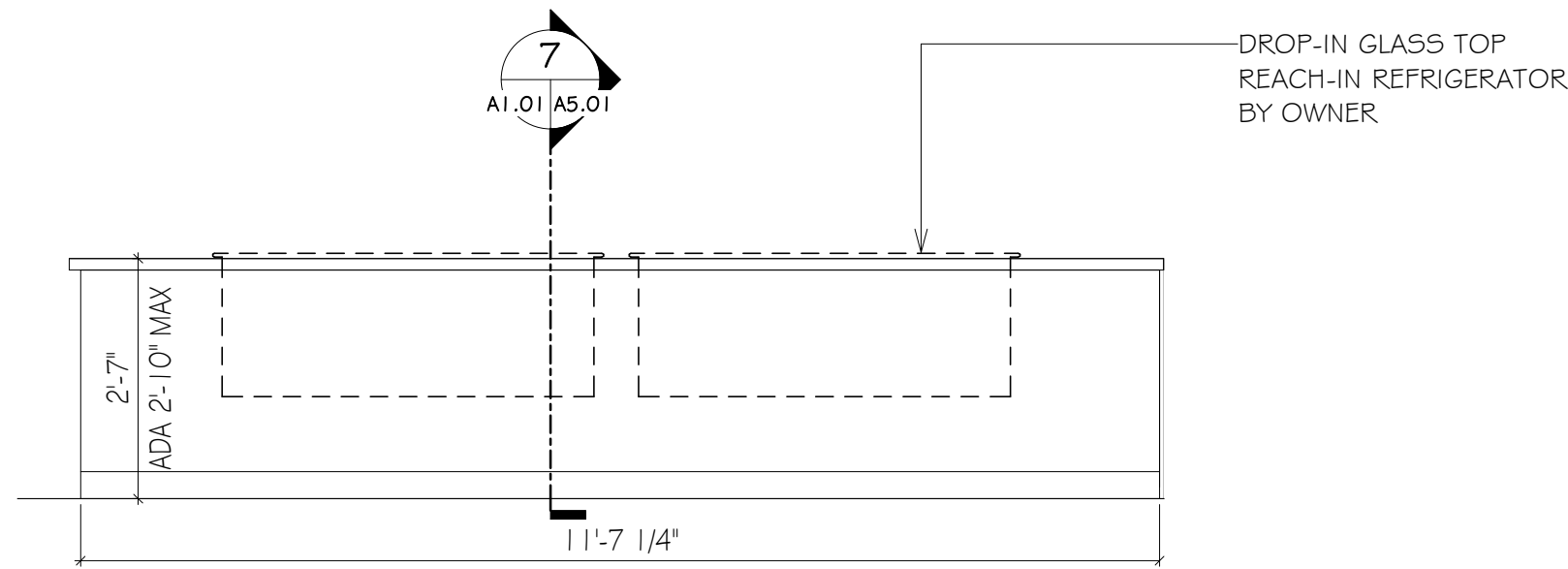


**FIRST FLOOR RCP**

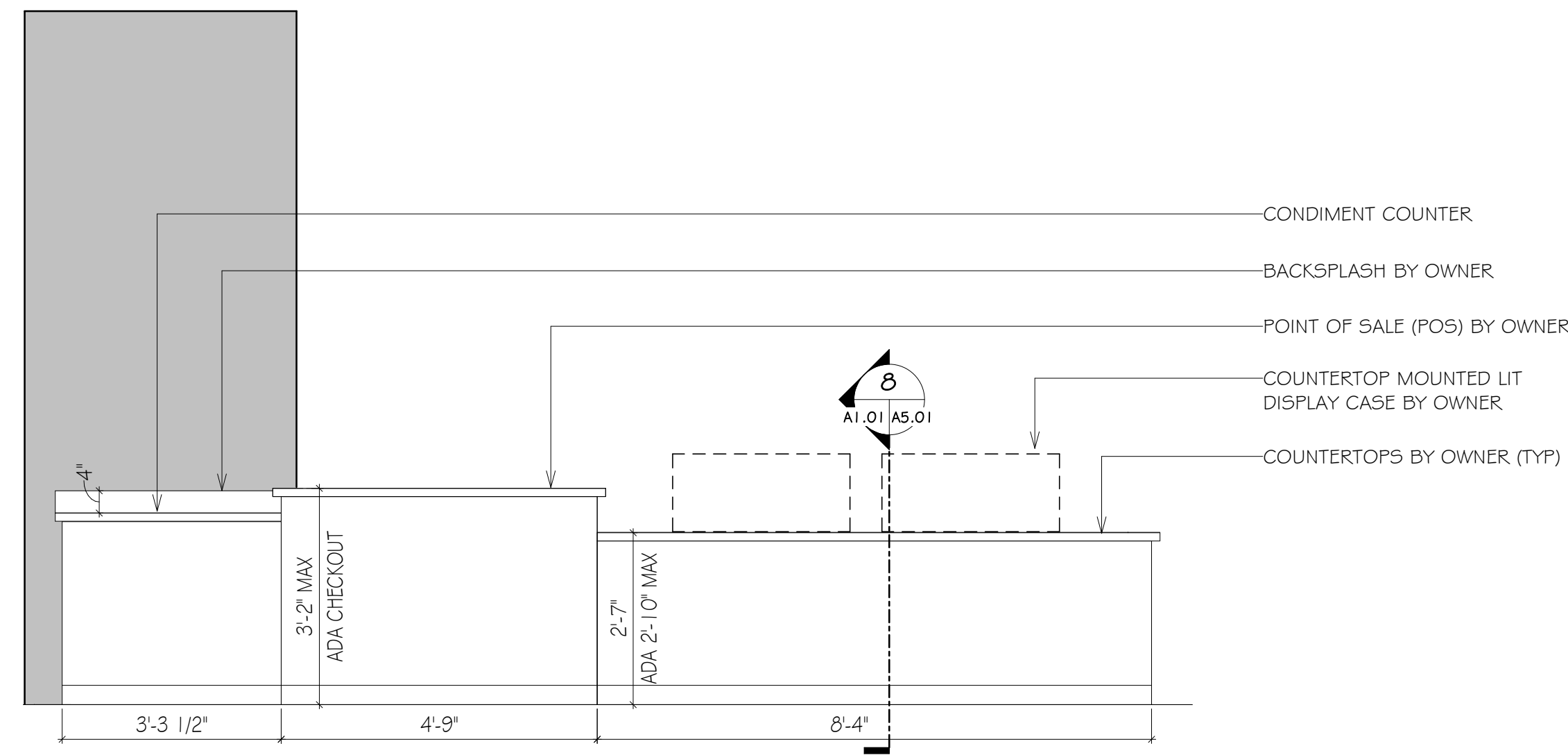
SCALE: 1/4" = 1'-0"

# PHASING

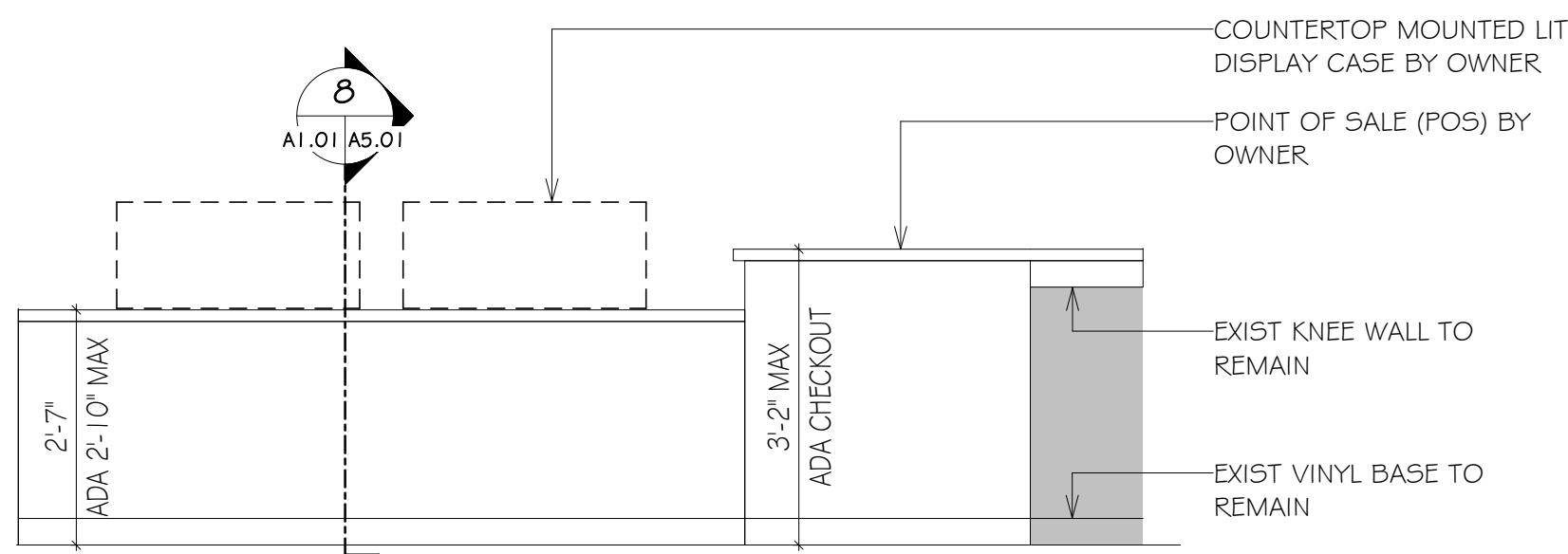
- EXISTING TO REMAIN
- NEW CONSTRUCTION



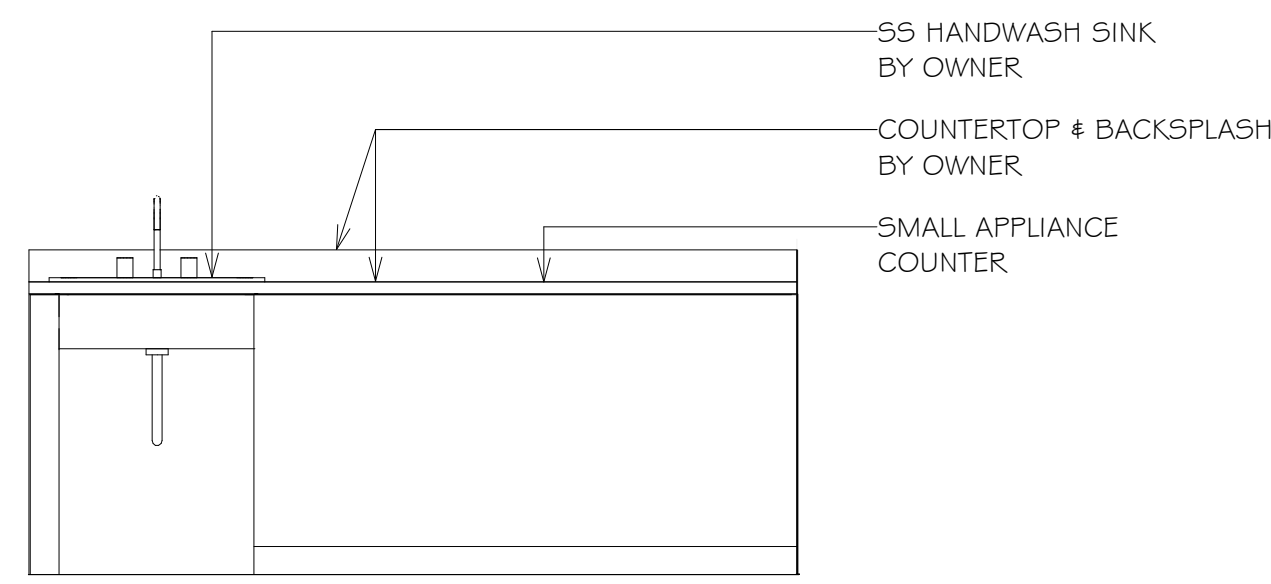
**1** INT EL - SERVICE COUNTER  
A1.01 | A5.01 | 1/2" = 1'-0"



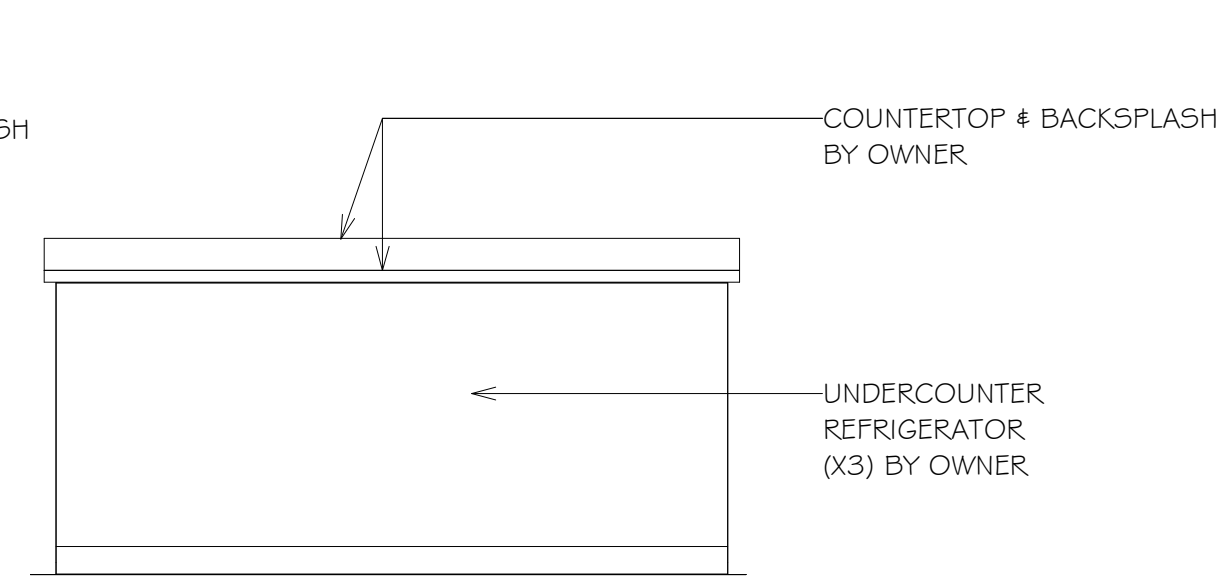
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A1.01 | A5.01 | 1/2" = 1'-0"



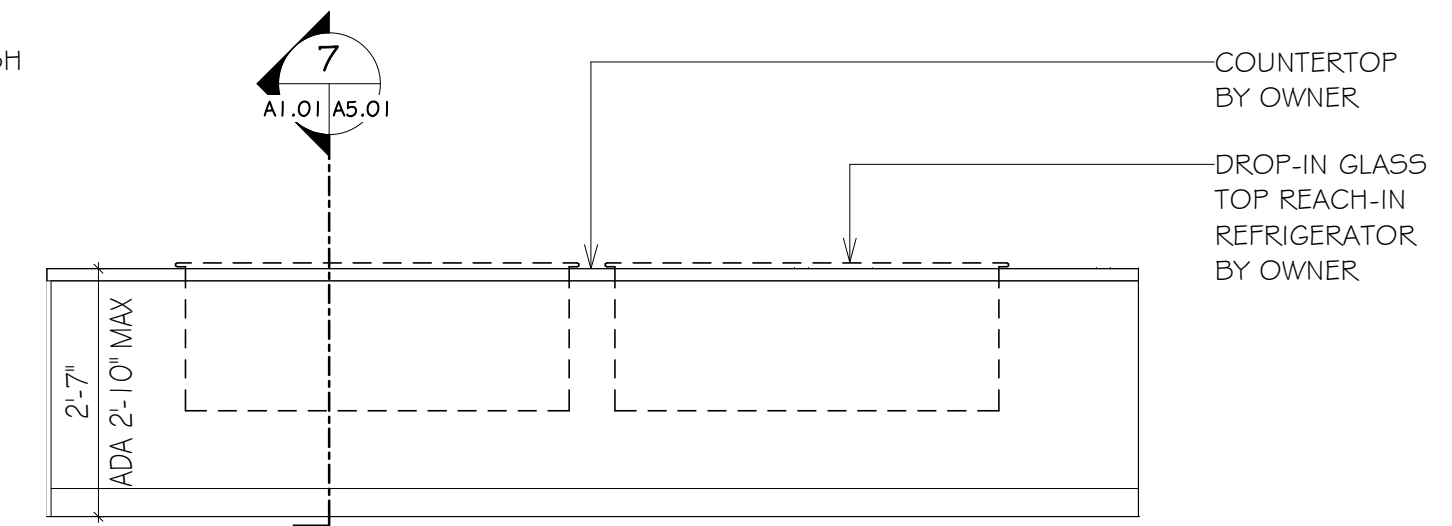
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A1.01 | A5.01 | 1/2" = 1'-0"



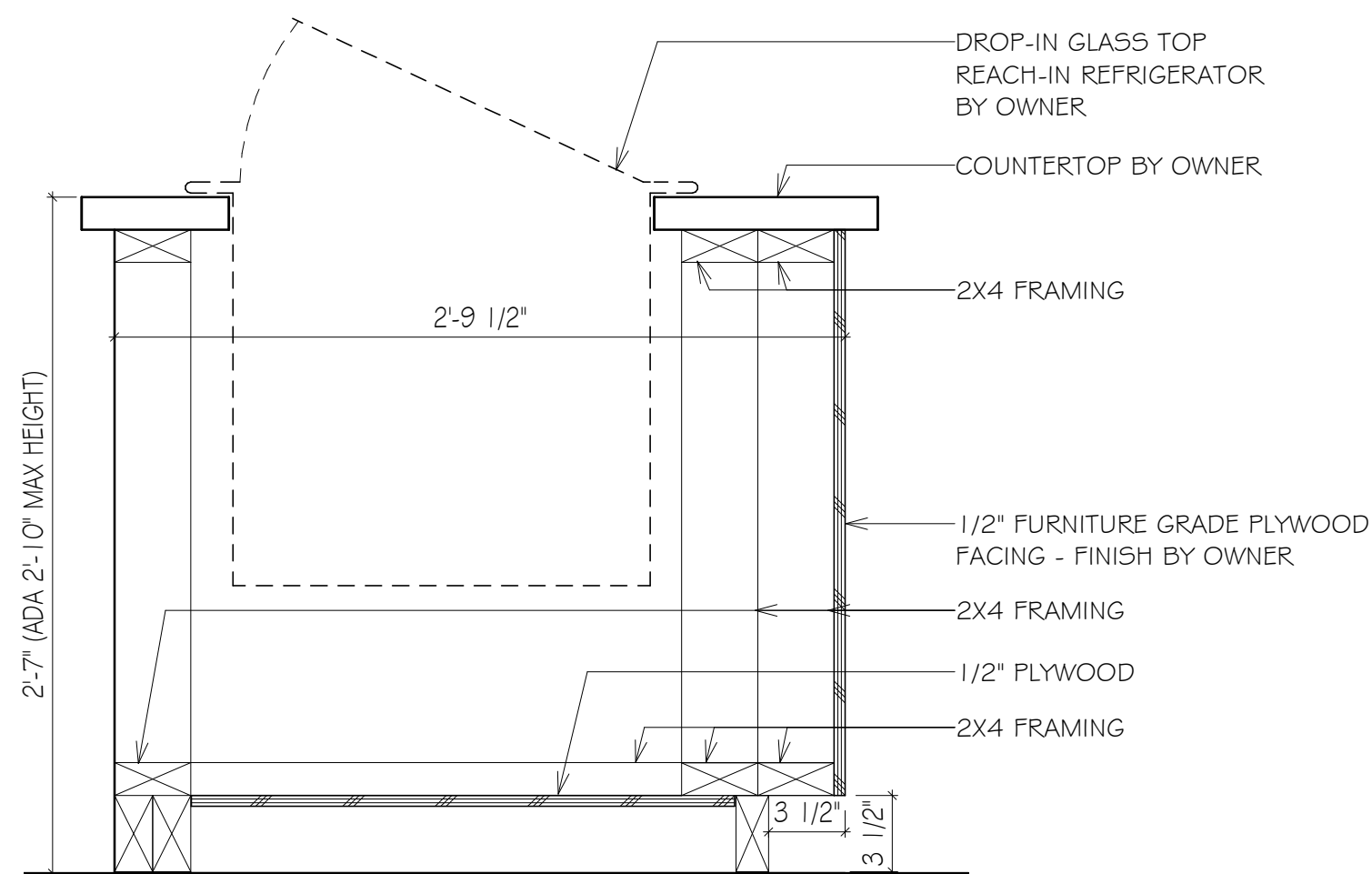
**4** INT EL - SERVICE COUNTER  
A1.01 | A5.01 | 1/2" = 1'-0"



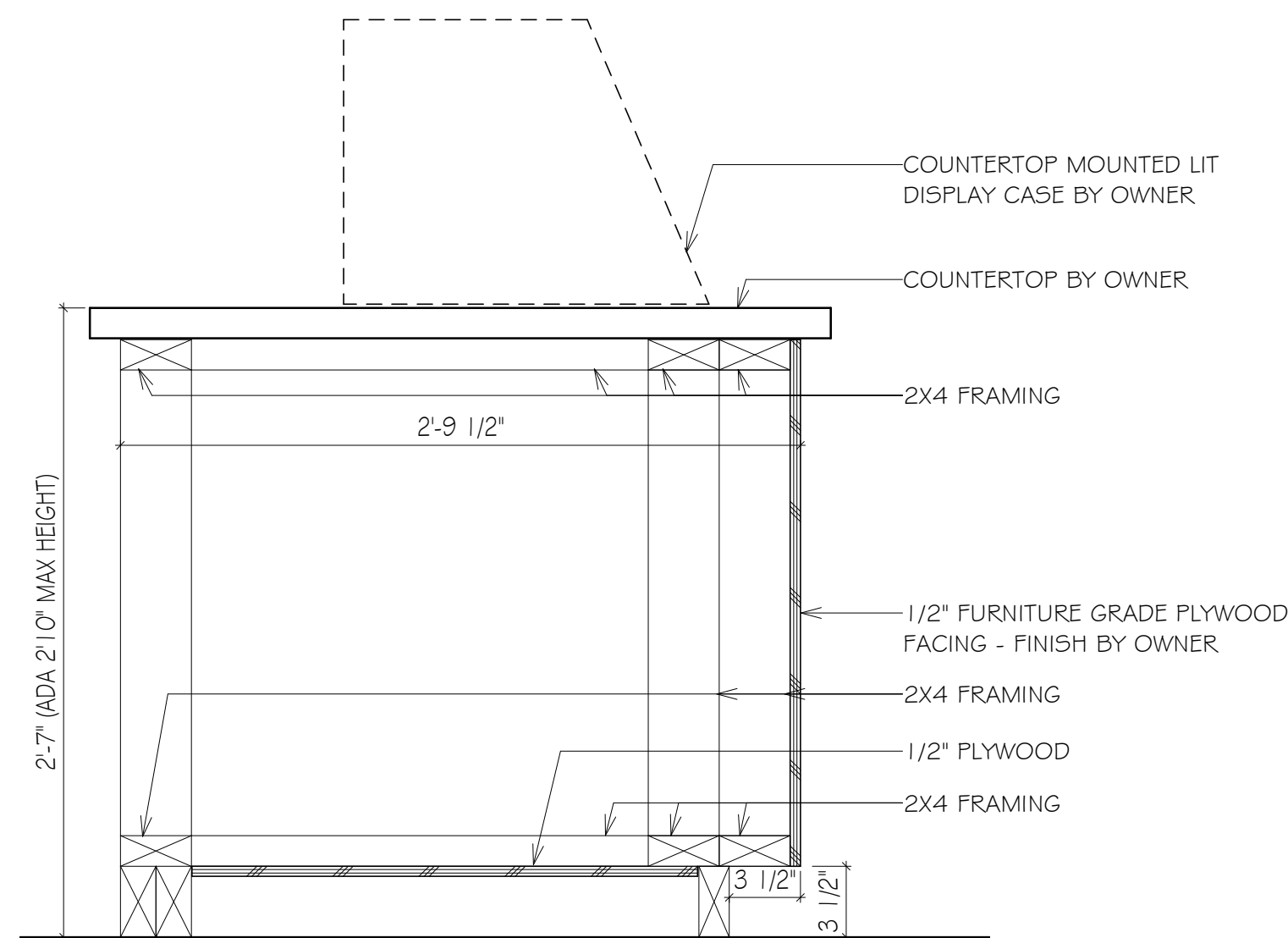
**5** INT EL - SERVICE COUNTER  
A1.01 | A5.01 | 1/2" = 1'-0"



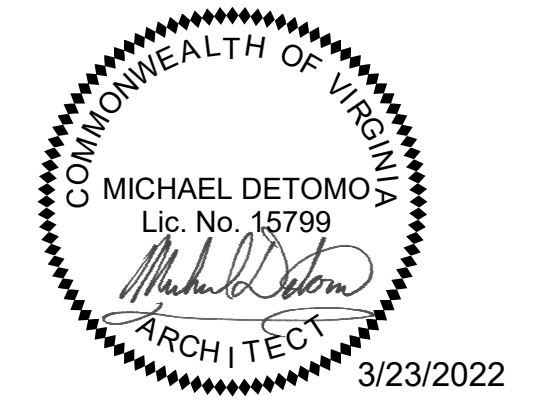
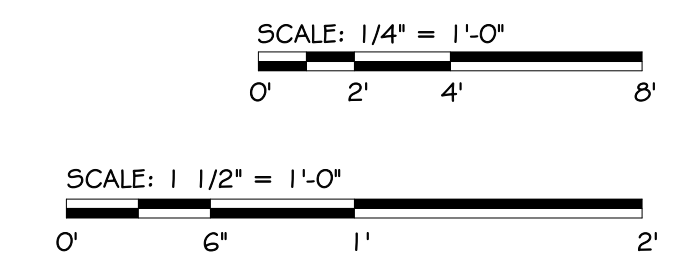
**6** INT EL - SERVICE COUNTER  
A1.01 | A5.01 | 1/2" = 1'-0"



**7** MILLWORK SECTION  
A1.01 | A5.01 | 1 1/2" = 1'-0"



**8** MILLWORK SECTION  
A1.01 | A5.01 | 1 1/2" = 1'-0"



No.	Revision	Date

# VENTILATION RATES

Ex AHU-1																	
Room #	Room Name	Occupancy Type	Area (sf)	People Outdoor Air Rate (cfm/person)	Area Outdoor Air Rate (cfm/sq)	Occupant Density (#/1000 sf)**	Default Occupants (# People)	Occupant Override (# People)	Breathing Zone Outdoor Air Flow [Vbz] (CFM)	Table 6-2 Zone Air Distribution Effectiveness Ez	Zone Req'd OA Flow [Voz] (CFM)	Room Outdoor Air Flow (CFM)	Zone Primary Air Flow [Vpz] (CFM)	Room Supplemental OA (CFM)	Primary Outdoor Air Fraction [Zp] = [Voz/Vpz]	% Increase Over Standard	Meets Standard?
101	Dining	Restaurant Dining Rm (FBS)	540	7.5	0.18	70	38		382	1.0	382	385	1200		0.32	1%	Y
Ex AHU																	
Table 6-3 System Ventilation Efficiency [Ev]	System Req'd OA Flow [Vot (D=1)] (CFM)	System Outdoor Air Intake Flow (CFM)	System Primary Air Flow (CFM)	Max Zp	% Increase Over Standard	Meets Standard?											
0.83	459	385	1,200	0.32													

## MECH ABBREVIATIONS

ABBREVIATION	DESCRIPTION
ABV	ABOVE
AC	AIR CONDITIONING
AD	AUTOMATIC DAMPER
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ARCH	ARCHITECTURAL
BTU	BRITISH THERMAL UNIT
CFM	CUBIC FEET PER MINUTE
CLG	CEILING
DB, db	DRY BULB
DEG	DEGREES
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH/EXHAUST AIR
EF	EXHAUST FAN
ESP	EXTERNAL STATIC PRESSURE
F	FAHRENHEIT
FD	FIRE DAMPER
FLA	FULL LOAD AMPS
FPM	FEET PER MINUTE
FT <sup>2</sup>	SQUARE FEET
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HR	HOUR
HZ	HERTZ
IN WG	INCH WATER GAUGE
KW	KILOWATT
LBS	POUNDS
LF	LINEAR FOOT

## MECH ABBREVIATIONS

ABBREVIATION	DESCRIPTION
MAX	MAXIMUM
MBH	1000 BRITISH THERMAL UNITS PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MECH	MECHANICAL
MIN	MINIMUM
MOC	MAXIMUM OVERCURRENT PROTECTION
NIC	NOT IN CONTRACT
OA	OUTSIDE AIR
PD	PRESSURE DROP
PH	PHASE
RA	RETURN AIR
RPM	REVOLUTIONS PER MINUTE
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SENS	SENSIBLE
SF	SQUARE FEET
SD	SMOKE DETECTOR
SP	STATIC PRESSURE
TEMP	TEMPERATURE
TYP	TYPICAL
V	VOLTAGE
VD	VOLUME DAMPER
VEL	VELOCITY
W	WATTS
WB, wb	WET BULB
W/	WITH
Ø	ROUND

## MECHANICAL GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH 2018 INTERNATIONAL MECHANICAL CODE & 2018 ENERGY CONSERVATION CODE.
- PRIOR TO BID, THE CONTRACTOR SHALL EXAMINE ALL PROJECT DOCUMENTS TO DEVELOP A COMPLETE UNDERSTANDING OF THE PROJECT SCOPE. FAILURE TO REVIEW ALL CONTRACT DRAWINGS & EXISTING CONDITIONS WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM ALL WORK REQUIRED. THE CONTRACTOR SHALL, UPON REVIEW OF THE DRAWINGS & EXISTING CONDITIONS, ADVISE THE OWNER OF ANY DISCREPANCIES WHICH WILL AFFECT THE WORK REQUIRED.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO INDICATE FINISHED WORK THAT IS FULLY ADJUSTED, TESTED, & READY FOR OPERATION. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN "FURNISH & INSTALL COMPLETE & READY FOR USE", UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL FURNISH & INSTALL THE COMPLETE & FUNCTIONAL SYSTEMS REQUIRED, INCLUDING EQUIPMENT, CONTROLS, DUCTWORK, PIPING, WIRING, VALVES, & ALL OTHER APPURTENANCES & HARDWARE FOR A COMPLETE SYSTEM.  
THE CONTRACTOR SHALL FURNISH & INSTALL ALL ITEMS NECESSARY FOR THE COMPLETE INSTALLATION OF THE EQUIPMENT AS REQUIRED BY CODE WITHOUT ADDITIONAL COST TO THE OWNER, REGARDLESS WHETHER THE ITEMS ARE INDICATED IN THE CONTRACT DRAWINGS OR SPECIFICATIONS. SUCH ITEMS COULD BE, BUT ARE NOT LIMITED TO, SUPPORTS, INSULATION, WIRING, LUBRICATION, MOTOR CONTROLLERS, REFRIGERANTS, START-UP & SERVICE, ETC.  
THE CONTRACTOR SHALL FURNISH & INSTALL A FIRST CLASS SYSTEM & SHALL COMPLETELY COORDINATE WITH ALL OTHER TRADES.
- ALL CONFLICTS WHICH MAY PREVENT THE COMPLETION OF WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK UNTIL THE CONFLICT IS RESOLVED.  
THE CONTRACTOR SHALL INSTALL ALL MECHANICAL & ELECTRICAL EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- THE CONTRACT DRAWINGS ARE DIAGRAMMATIC & DO NOT INDICATE ALL COMPONENTS & ACCESSORIES REQUIRED FOR THE COMPLETE INSTALLATION. THE CONTRACTOR SHALL PROVIDE SUCH ITEMS TO COMPLETE THE ENTIRE SYSTEM & PLACE IN PROPER OPERATION IN ACCORDANCE WITH APPLICABLE CODES, INDUSTRY STANDARDS, & EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- LOCATIONS OF EQUIPMENT, PIPING, VALVES, ETC. ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. THE CONTRACTOR SHALL OBTAIN EXACT LOCATIONS & ESTABLISH EXACT DIMENSIONS ON THE JOB SITE AFTER STUDYING THE CONDITIONS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS & ARRANGE FOR ALL INSPECTIONS BY LOCAL AUTHORITIES HAVING JURISDICTION.  
THE CONTRACTOR SHALL INSTALL ALL AIR DISTRIBUTION SYSTEMS SO AS TO NOT INTERFERE WITH THE PLUMBING, STRUCTURAL, ELECTRICAL, & ARCHITECTURAL SYSTEMS. THE CONTRACTOR SHALL COORDINATE THIS PROJECT REQUIREMENT.
- ALL AIR SYSTEMS SHALL BE BALANCED & TESTED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IT SHALL BE ESTABLISHED THAT ALL EQUIPMENT IS CAPABLE OF OPERATING AT THE DESIGN CAPACITY & ALL CONTROLS ARE OPERATING TO THE SATISFACTION OF THE OWNER. ALL SYSTEMS SHALL BE CHECKED FOR EXCESSIVE NOISE OR VIBRATION & ALL SUCH CONDITIONS BE CORRECTED BY THE CONTRACTOR. BALANCING CONTRACTOR SHALL BE NEBB OR ABC CERTIFIED. THE CONTRACTOR SHALL SUBMIT A CERTIFIED BALANCING REPORT TO THE OWNER UPON COMPLETION OF THE PROJECT.
- THE MECHANICAL CONTRACTOR SHALL FURNISH & INSTALL MOTOR STARTERS FOR MECHANICAL EQUIPMENT & THE EQUIPMENT SHALL BE WIRED BY THE ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP, MATERIALS, EQUIPMENT, & RELATED ITEMS FOR A PERIOD AFTER COMPLETION OF THE PROJECT & REPLACE ANY DEFECTIVE MATERIALS, EQUIPMENT, & RELATED ITEMS WITHIN THE GUARANTEE PERIOD. THE PERIOD SHALL BE TWELVE MONTHS FROM THE COMPLETION OF THE PROJECT UNLESS SPECIFIED OTHERWISE IN THE SPECIFICATIONS OR CONTRACT DOCUMENTS.
- ALL CONTRACT DOCUMENTS INCLUDING ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, & PLUMBING ARE COMPLEMENTARY & MUST BE USED IN COMBINATION BY THE CONTRACTOR TO OBTAIN COMPLETE CONSTRUCTION INFORMATION & PROVIDE A COMPLETE OPERABLE SYSTEM.
- THE CONTRACTOR SHALL SEAL ALL LEAKS IN DUCTWORK & EXISTING DUCTWORK TO REMAIN. THE CONTRACTOR SHALL CAP & SEAL ALL UNUSED TAPS & OPENINGS IN THE EXISTING DUCTWORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING &/OR DISPOSING OF ALL ITEMS THAT ARE NOT NECESSARY IN THE COMPLETION OF THE PROJECT & SHALL CLEAN THE AREA OF CONSTRUCTION AFTER THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING & PATCHING OF BUILDING INCLUDING ROOF & ALL WORK & REPLACEMENT SHALL MATCH EXISTING CONSTRUCTION. ROOF WORK SHALL BE DONE BY A CONTRACTOR APPROVED BY THE BUILDING OWNER.
- ALL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA (SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION) DUCT STANDARDS & ASHRAE (AMERICAN SOCIETY OF HEATING, REFRIGERATING, & AIR CONDITIONING ENGINEERS) RECOMMENDATIONS. IN CASE SIZE OF DUCTWORK IS NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR MAY REQUEST THE SIZE FROM THE OWNER'S REPRESENTATIVE. THE SHAPE OF THE DUCT MAY BE CHANGED WHEN APPROVED BY THE OWNER'S REPRESENTATIVE & THAT THE STATIC LOSS WITHIN THE DUCT IS NOT CHANGED. RIGIDITY CLASS, DIMENSIONS OF TRANSVERSE JOINTS & INTERMEDIATE REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE PHYSICAL SPACE LIMITATIONS OF PROJECT. THE ENTIRE AIR DISTRIBUTION SYSTEM INCLUDING ALL BRANCH DUCTWORK & DIFFUSER CONNECTIONS SHALL BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE IN EXCESS OF 5%. DUCT SEALANT HAVE A FIRE HAZARD RATING NOT TO EXCEED 25 FLAME SPREAD & 50 SMOKE DEVELOPED. FIBERGLASS DUCTWORK WILL NOT BE ACCEPTABLE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW SUPPLY, RETURN, & OUTSIDE AIR DUCTWORK SHALL BE EXTERNALLY INSULATED WITH R-6 FIBERGLASS FLEXIBLE BLANKET TYPE OF INSULATION WITH VAPOR BARRIER FACING. INSULATION SHALL HAVE FIRE HAZARD RATING NOT TO EXCEED 25 FLAME SPREAD & 50 SMOKE DEVELOPED.

## MECHANICAL SYMBOLS

SYMBOL	DESCRIPTION
	EXISTING DUCTWORK OR EQUIPMENT TO REMAIN
	NEW DUCTWORK OR EQUIPMENT
	ACOUSTICALLY LINED DUCTWORK
	FLEXIBLE DUCTWORK
	SUPPLY AIR CEILING DIFFUSER/DUCT UP
	RETURN AIR CEILING GRILLE
	EXHAUST AIR CEILING GRILLE
	TSTAT; SUBSCRIPT DENOTES EQUIPMENT BEING CONTROLLED
	EXISTING DIFFUSER/REGISTER WITH CFM INDICATION
	REFERENCED PLAN NOTE DESIGNATION
	AUTOMATIC MOTORIZED DAMPER
	MANUAL LOCKING VOLUME DAMPER
	3/4" DOOR UNDERCUT
	POINT OF CONNECTION (NEW TO EXISTING)
	EXISTING DUCTWORK OR EQUIPMENT TO BE REMOVED
	PLAN OR DETAIL NUMBER
	DRAWING NUMBER WHERE PLAN OR DETAIL APPEARS
	EXISTING LINEAR SUPPLY DIFFUSER

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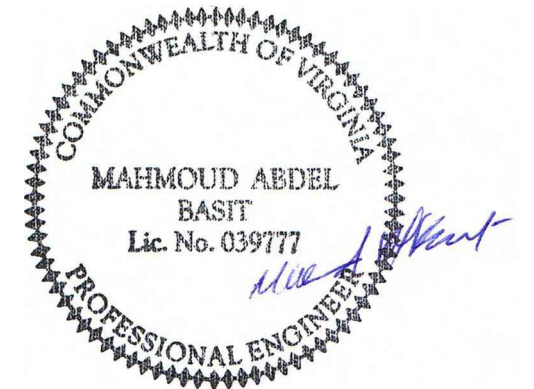
Consultants

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Fairfax, VA 22030  
Tel: 703 470 7782  
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MECHANICAL/ELECTRICAL/PLUMBING

## Gostov Boulangerie & Brasserie, Inc.

2213 Mount Vernon Avenue  
Alexandria, VA 22301

Seal



Key Plan

Drawing

## Cover Sheet- Mechanical

Submission Set

PERMIT SUBMISSION	DATE
	03/23/2022

Revisions

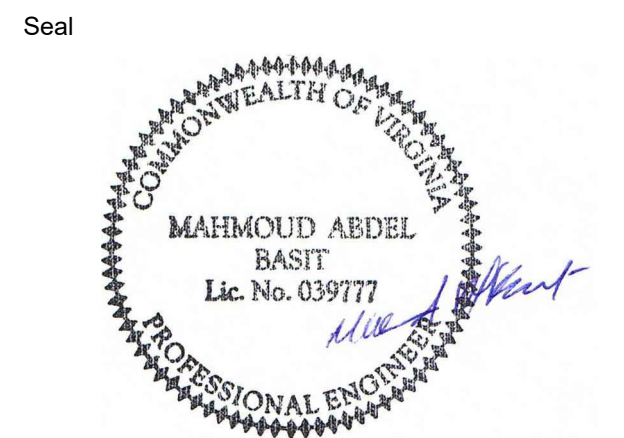
No.	Revision	Date

Date 23 March 2022

Project No. 18001.05

Sheet No.

# M0.01



Key Plan

Drawing  
**Floor Plan, Schedules  
- Mechanical**

Submission Set

PERMIT SUBMISSION	03/23/2022

Revisions

No.	Revision	Date

Date 23 March 2022  
Project No. 18001.05  
Sheet No.

**M1.01**

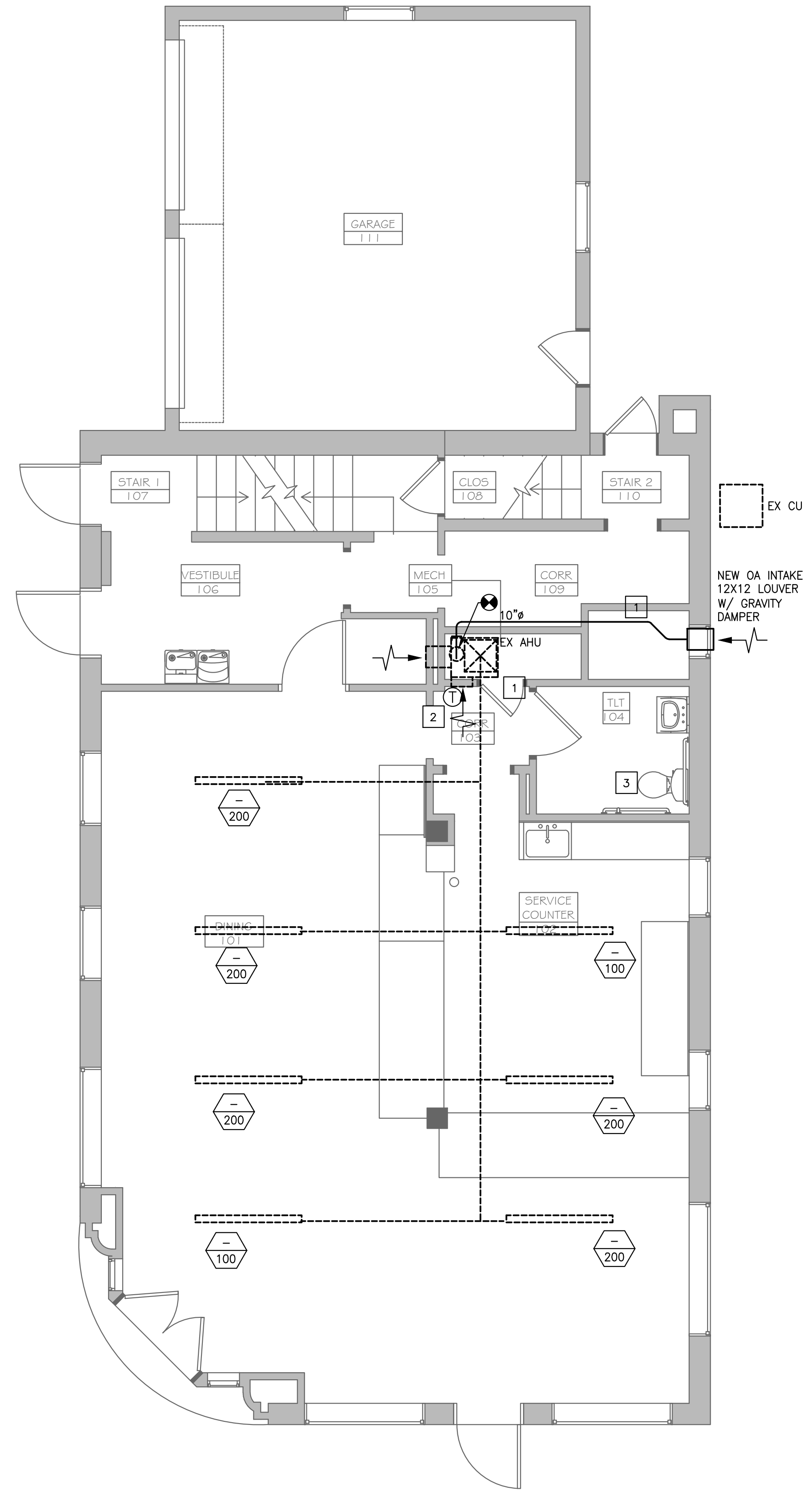
**REFERENCED PLAN NOTES:**

- 1- EXISTING HVAC SPLIT SYSTEM TO REMAIN AND PROVIDE HEATING AND COOLING TO THE SPACE. INSTALL NEW OUTSIDE AIR SYSTEM TO PROVIDE VENTILATION FOR THE SPACE. RUN 10"Ø DUCT TO A NEW 12X12 OA INTAKE LOUVER AND CONNECT TO THE RETURN AIR PLENUM BOX UNDER THE UNIT.
- 2- EXISTING HEATING/ COOLING THERMOSTAT TO REMAIN.
- 3- VERIFY PERFORMANCE OF EXISTING BATHROOM EXHAUST FAN & REPLACE IF NEEDED.

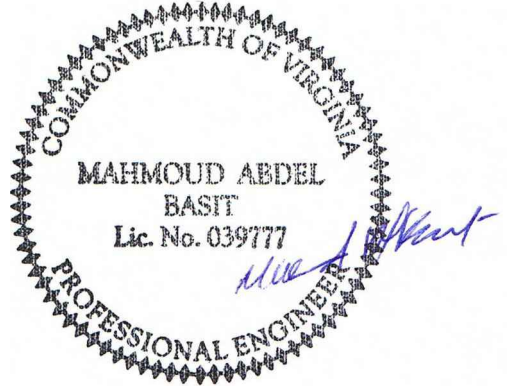
**EXISTING SPLIT SYSTEM INFORMATION**

DESIGNATION	SUPPLY AIR TOTAL CFM	MINIMUM OUTSIDE AIR CFM	ESP (°W.G.)	SUPPLY FAN HP	COOLING CAPACITY		HW COIL HEATING CAPACITY (MBH)	UNIT POWER SUPPLY			MANUFACTURER CARRIER AND MODEL
					TOTAL (MBH)	SENSIBLE (MBH)		MCA	MOCP	VOLTS/PHASE	
EX-AHU	1200	385	0.5	-	36	-	50	-	30	208/1	FB4ANF036/ 38TKB036

- NOTES:**
- 1. ADJUST SUPPLY AIR AND OUTSIDE AIR AT THE UNIT TO THE VALUES INDICATED ABOVE.
  - 2. UNIT FAN SHALL RUN CONTINUOUSLY DURING OCCUPIED MODE.
  - 3. VERIFY THE PERFORMANCE OF THE UNIT AND REPAIR AS NEEDED.



**1 FLOOR PLAN - MECHANICAL**  
M-101 SCALE: 1/4" = 1'-0"



No.	Revision	Date

PLUMBING GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH 2018 INTERNATIONAL PLUMBING CODE, & 2018 VUSBC REQUIREMENTS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL THE COMPLETE AND FUNCTIONAL SYSTEMS REQUIRED, INCLUDING EQUIPMENT, PIPING, VALVES, AND ALL OTHER APPURTENANCES AND HARDWARE FOR A COMPLETE SYSTEM.
- LOCATIONS OF EQUIPMENT, PIPING, VALVES, ETC. ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. THE CONTRACTOR SHALL OBTAIN EXACT LOCATIONS AND ESTABLISH EXACT DIMENSIONS ON THE JOB SITE AFTER STUDYING THE CONDITIONS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND ARRANGE FOR ALL INSPECTIONS BY LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL PIPING SHALL BE CONCEALED ABOVE CEILINGS, WITHIN WALLS, AND WITHIN CHASES UNLESS OTHERWISE NOTED.
- ALL FIXTURES, PIPING, AND EQUIPMENT SHALL COMPLY WITH THE LATEST ENERGY CONSERVATION CODES APPLICABLE.
- TEMPERED WATER (109F OR LESS) SHALL BE DELIVERED TO HAND WASHING FACILITIES.

PLUMBING SPECIFICATION NOTES

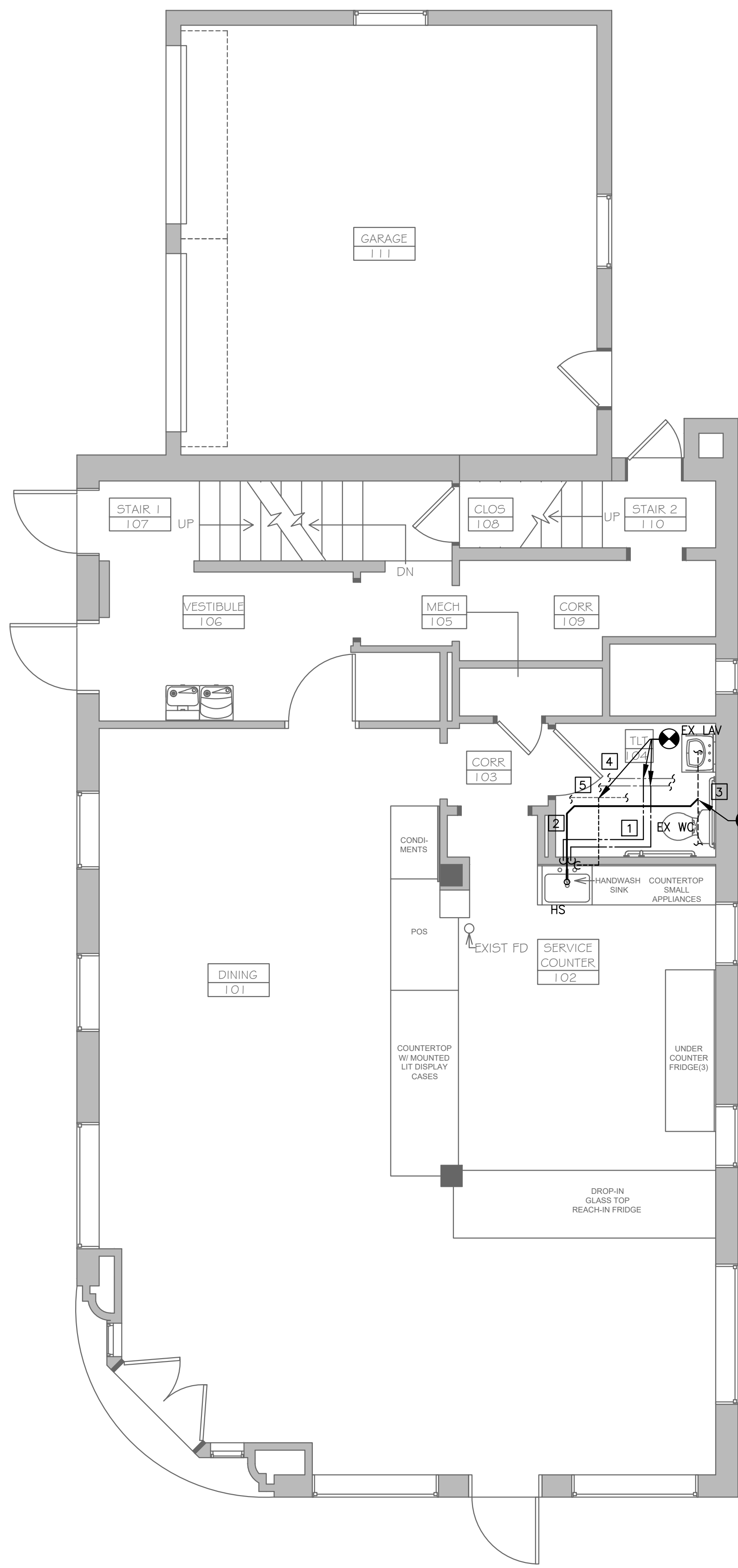
- THE CONTRACTOR SHALL VERIFY AT THE JOB SITE EXACT SIZES AND LOCATIONS OF ALL EXISTING PLUMBING PIPING PRIOR TO INSTALLATION OF ANY NEW PLUMBING WORK. NEW PLUMBING WORK SHALL BE COORDINATED WITH EXISTING CONDITIONS TO ASSURE PROPER INSTALLATION.
- HORIZONTAL SANITARY AND WASTE PIPING SHALL SLOPE AT 1/4" PER FOOT FOR ALL PIPING UP TO AND INCLUDING 3".
- ALL DOMESTIC WATER PIPING SYSTEMS SHALL BE TESTED AND CLEANED IN ACCORDANCE WITH THE APPLICABLE CODES.
- THE CONTRACTOR SHALL HYDRAULICALLY PRESSURE TEST ALL PIPING AT THE FULL WORKING PRESSURE FOR A MINIMUM PERIOD OF 24-HOURS. STOP-LEAK COMPOUNDS WILL NOT BE ALLOWED. UNLESS NOTED OTHERWISE, ALL PRESSURIZED WATER PIPING SYSTEMS SHALL BE RATED FOR 150 PSI WORKING PRESSURE.
- EXISTING PIPING WHICH IS TO REMAIN AS PART OF THE NEW ACTIVE SYSTEM SHALL BE PURIFIED AND PRESSURE TESTED IN THE SAME MANNER AS THE NEW PIPING. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE PIPING AND REPAIR ANY LEAKS.
- SANITARY, SOIL OR WASTE PIPE SHALL NOT EXTEND GREATER THAN 2'-0" TO A DEAD-END. PROVIDE CLEAN-OUTS AS REQUIRED BY THE LOCAL AUTHORITIES.
- CONNECTIONS BETWEEN DISSIMILAR PIPING MATERIALS SHALL BE MADE WITH SUITABLE DIELECTRIC INSULATING UNIONS.
- ALL PIPING SHALL BE SUPPORTED WITH U.L. LISTED HANGERS AND SUPPORTS SUITABLE FOR THE INTENDED INSTALLATION. DESIGN, SELECTION, SPACING AND APPLICATION OF HANGERS AND SUPPORTS SHALL COMPLY WITH ANSI B31.1 AND MSS SP-69.
- SOLDERED COPPER JOINTS SHALL BE SOLDERED WITH LEAD FREE ASTM B22 GRADE 95T TIN-ANTIMONY SOLDER.
- ALL NEW DOMESTIC WATER PIPING SHALL BE TYPE L HARD DRAWN SEAMLESS COPPER WATER TUBE. COPPER TUBE FITTINGS SHALL BE WROUGHT COPPER JOINT FITTINGS CONFIRMING TO ANSI B16.22. PIPING SYSTEM SHALL BE INSULATED WITH 1/2" THICK R-3 HEAVY DUTY FIBERGLASS MATERIAL.
- SOIL, WASTE AND VENT PIPE AND FITTINGS ABOVE GRADE: PIPING SHALL BE CAST IRON. PVC SCHEDULE 40 IS ACCEPTABLE ALTERNATIVE BUT IS NOT ALLOWED IN RETURN AIR PLENUMS.
- GATE VALVES SHALL BE USED FOR STOP OR ISOLATION VALVE APPLICATIONS. IN LIEU OF GATE VALVES FOR PIPING 2-1/2" AND SMALLER, BALL VALVES MAY BE USED.
- GLOBE VALVES SHALL BE USED FOR BALANCING OR THROTTLING VALVE APPLICATIONS

PLUMBING SYMBOLS

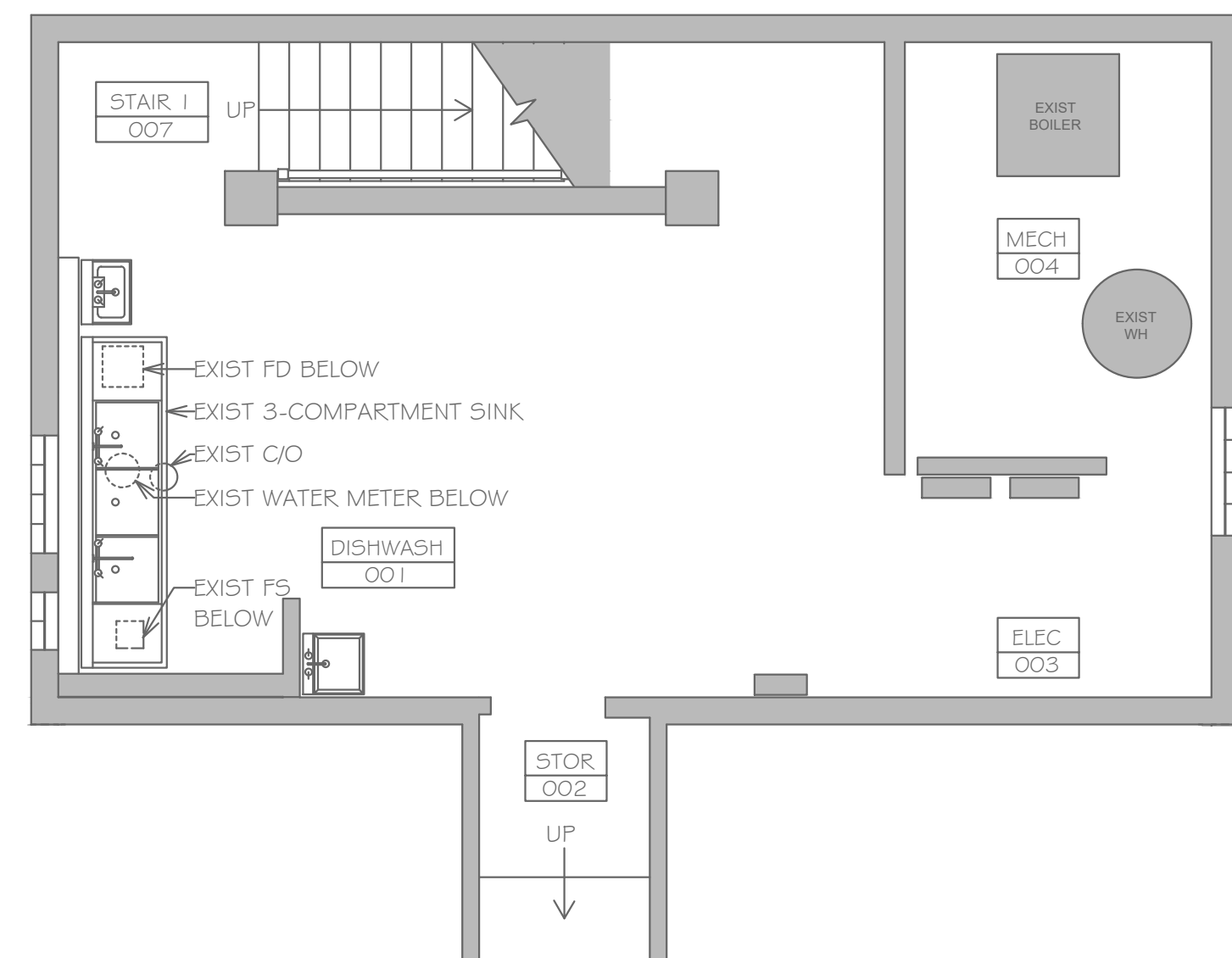
SYMBOL	DESCRIPTION
	SOIL or WASTE (SANITARY) PIPE
	VENT PIPE
	COLD WATER PIPING
	HOT WATER PIPING
	PIPE TURNING UP
	PIPE TURNING DOWN
	GATE VALVE
	UNION
WC-1	PLUMBING FIXTURE DESIGNATION
	FLOOR DRAIN
	PLAN OR DETAIL NUMBER DRAWING WHERE PLAN OR DETAIL APPEARS
	CONNECT NEW TO EXISTING

REFERENCED PLAN NOTES

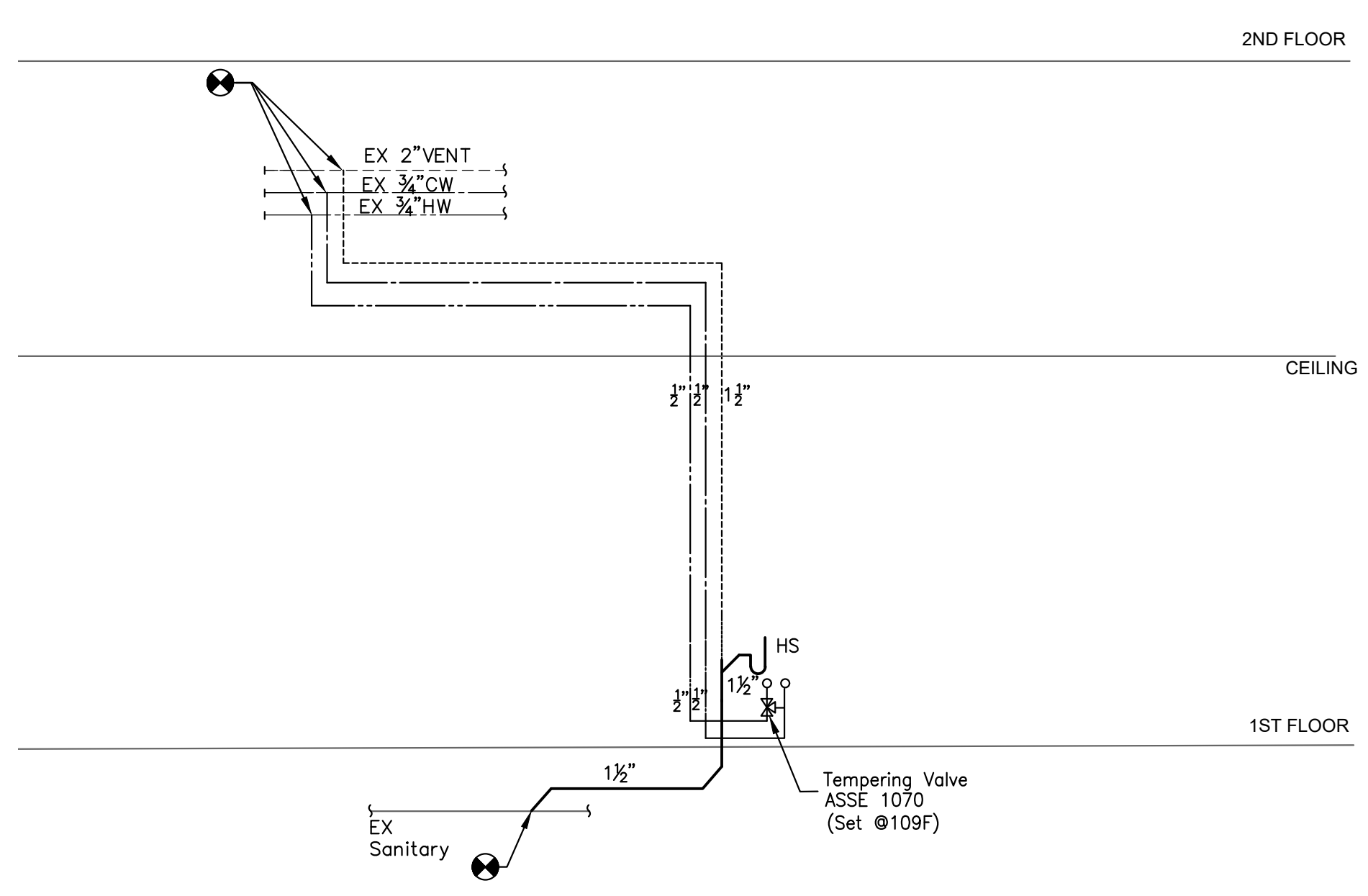
- PIPE ABOVE CEILING (CW/HW, VEN) .
- PIPE BELOW FLOOR (SANITARY).
- CONNECT TO EXISTING SANITARY LINE BELOW FLOOR. FIELD VERIFY EXACT LOCATION.
- CONNECT TO EXISTING 3/4" CW/HW WATER LINE ABOVE CEILING. FIELD VERIFY EXACT LOCATION.
- CONNECT TO EXISTING VENT LINE ABOVE CEILING. FIELD VERIFY EXACT LOCATION.



1 FLOOR PLAN - PLUMBING  
P-101 SCALE: 1/4" = 1'-0"



2 PARTIAL BASEMENT PLAN - PLUMBING  
P-101 SCALE: 1/4" = 1'-0"



3 SANITARY/ WATER RISER DIAGRAMS - PLUMBING  
P-101 SCALE: N.T.S

PLUMBING FIXTURE CONNECTION SCHEDULE

ITEM NUMBER	FIXTURE DESCRIPTION	MINIMUM FIXTURE CONNECTION PIPE SIZE				REMARKS
		WASTE	VENT	COLD WATER	HOT WATER	
HS	PANTRY SINK STAINLESS STEEL	1-1/2"	1-1/2"	1/2"	1/2"	TO BE SELECTED BY OWER

Schedule Notes:  
1.







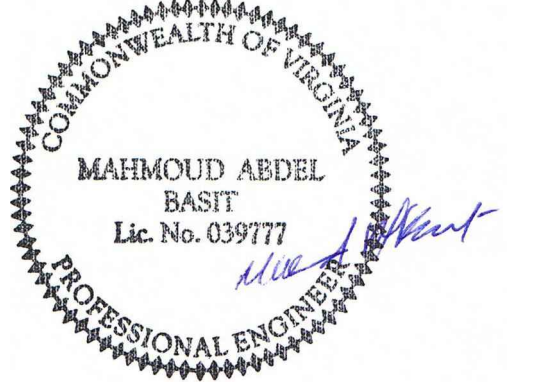
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Alexandria, VA 22301

Seal



Key Plan

Drawing  
Floor Power Plan  
- Electrical

Submission Set

PERMIT SUBMISSION	03/23/2022

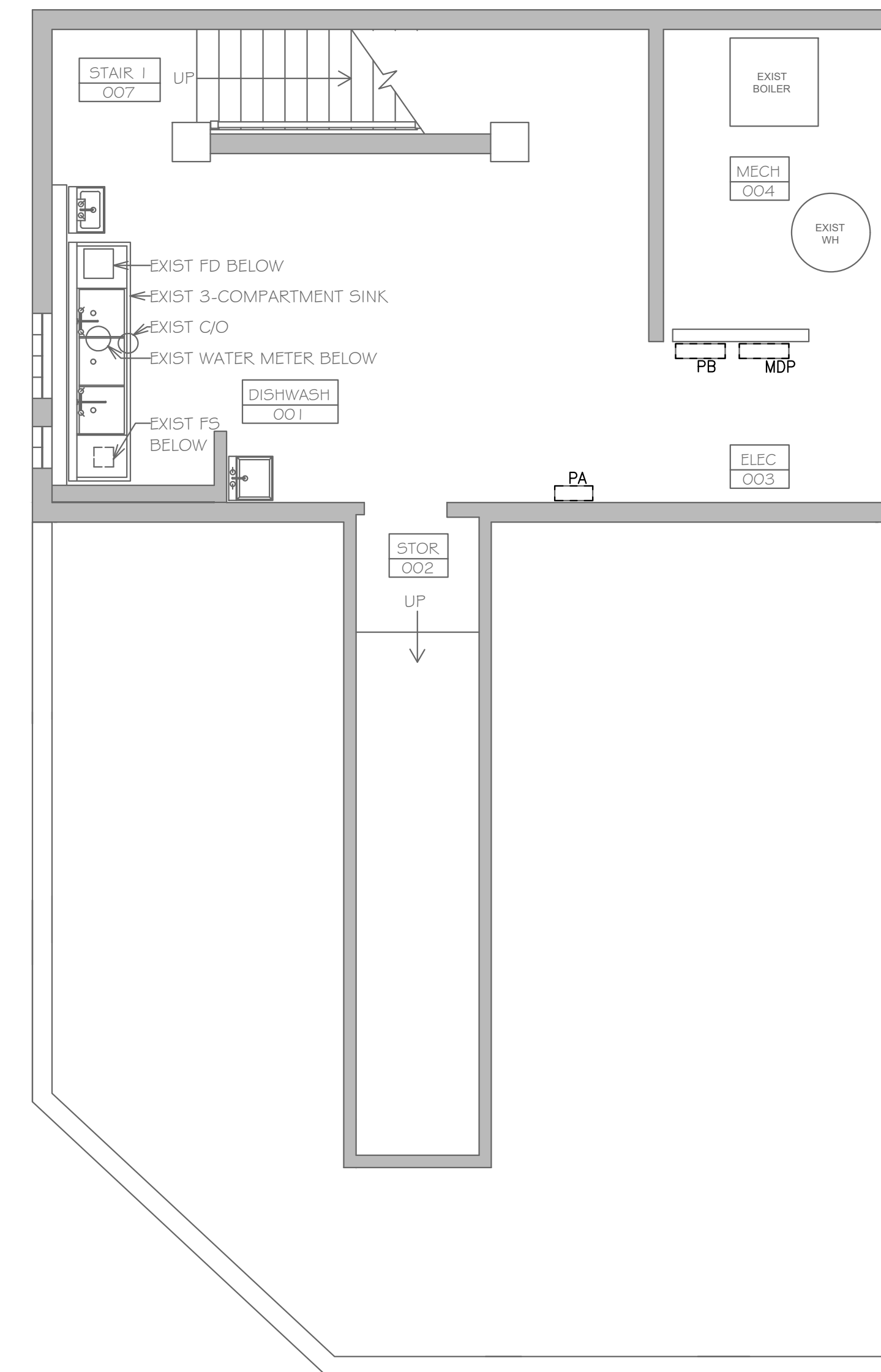
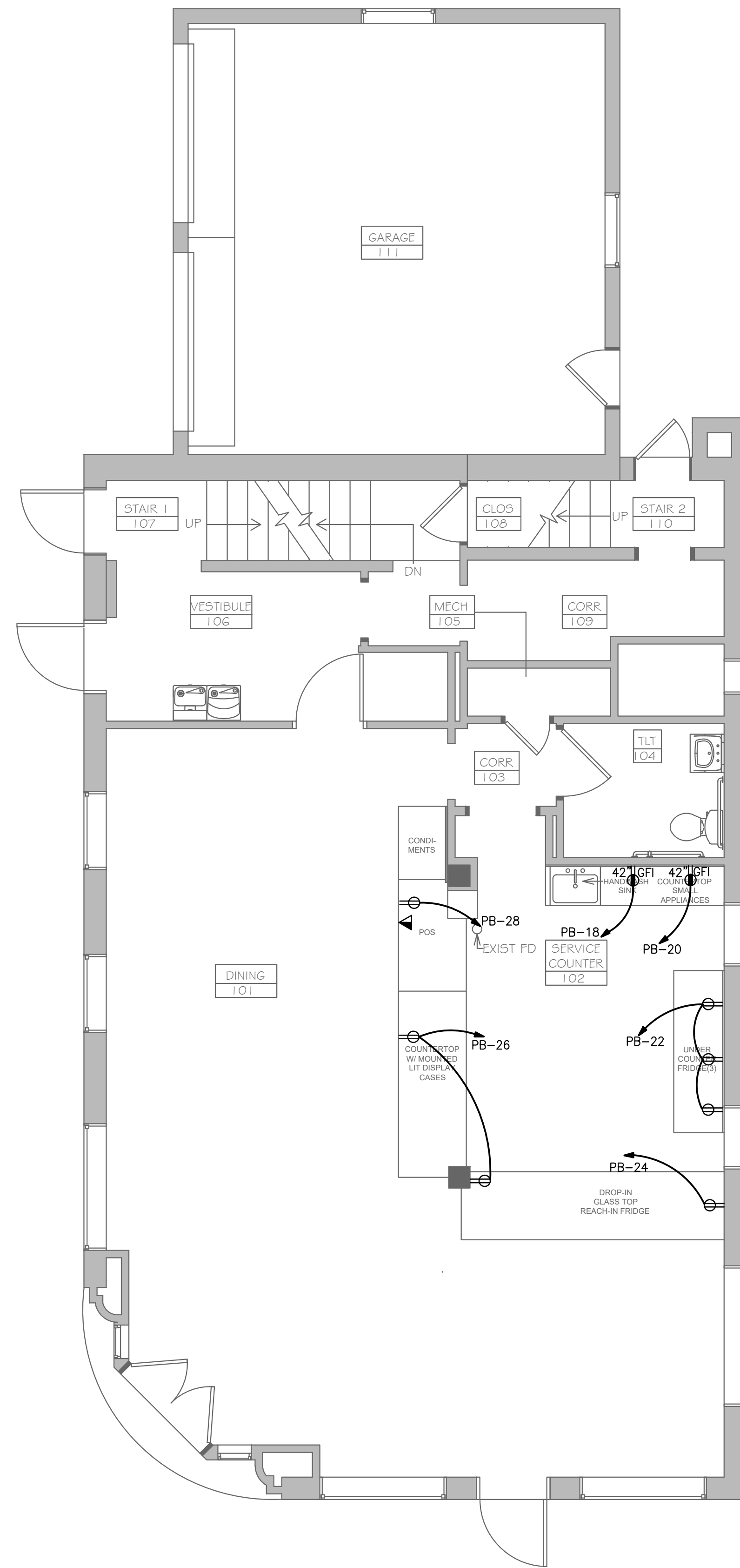
Revisions

No.	Revision	Date

Date 23 March 2022

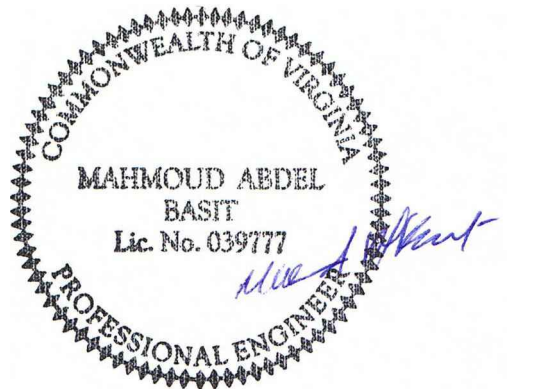
Project No. 18001.05

Sheet No.



1 FLOOR POWER PLAN-ELECTRICAL  
E-201 SCALE: 1/4" = 1'-0"

1 BASEMENT POWER PLAN-ELECTRICAL  
E-201 SCALE: 1/4" = 1'-0"



Power Riser & Panel  
Schedule- Electrical

PERMIT SUBMISSION	03/23/2022

No.	Revision	Date

PANEL SCHEDULE (EXISTING)											
IN NEMA 21 ENCLOSURE											
PANEL DESIGNATION	VOLTAGE: 120/240	PHASE: 1	WIRES: 3	MAINS: 100A M.L.O.	MOUNTING: SURFACE						
PB		A.I.C. RATING: -		LOCATION: BASEMENT				REMARKS: FED BY 100A CB IN MDP			
BRANCH CIRCUIT LOAD DESCRIPTION	LOAD KVA	CIRCUIT BREAKER			PHASE		CIRCUIT BREAKER			LOAD KVA	BRANCH CIRCUIT LOAD DESCRIPTION
		POLE	TRIP	SP	A	B	NO.	TRIP	POLE		
EX BOILER	0.4	1	20	1	•	•	2	20	1	-	SPARE
EX AC	0.6	1	20	3	•	•	4	20	1	-	SPARE
EX AC	0.6	1	20	5	•	•	6	20	1	-	SPARE
EX RECEPT	0.4	1	20	7	•	•	8	20	1	-	SPARE
EX RECEPT	0.6	1	20	9	•	•	10	20	1	0.6	EX RECEPT
EX RECEPT	0.8	1	20	11	•	•	12	20	1	0.6	EX RECEPT
EX AC	4.2	2	30	13	•	•	14	20	1	0.6	EX RECEPT
							16	20	1	0.6	EX RECEPT
SPARE	-	1	20	17	•	•	18	20	1	1.5	SMALL APPLIANCE *
SPARE	-	1	20	19	•	•	20	20	1	1.5	SMALL APPLIANCE *
SPARE	-	1	20	21	•	•	22	20	1	1.2	UC FRIDGES *
SPARE	-	1	20	23	•	•	24	20	1	1.0	GLASS TOP FRIDGE *
SPARE	-	1	20	25	•	•	26	20	1	0.6	RECEPT SERVERY *
SPARE	-	1	20	27	•	•	28	20	1	0.4	POS *
SPARE	-	1	20	29	•	•	30	20	1	-	SPARE

TOTAL CONNECTED LOAD: 16.2 KVA  
(EQUIVALENT TO 67.5A @ 240V, 1φ)

NOTES:

- \* RUN NEW CIRCUITRY TO EXISTING SPARE CIRCUIT BREAKERS.
- EXISTING PANEL DIRECTORY COULD NOT BE VERIFIED. THE CONTRACTOR SHALL TRACE ALL EXISTING CIRCUITS AND USE SPARE SPACES IN THE PANEL FOR NEW CIRCUITS.

CONDUIT & WIRE SIZE SCHEDULE						
UNLESS OTHERWISE SHOWN						
CIRCUIT BREAKER TRIP	GROUND WIRE SIZE	1 or 2 POLE		3 POLE		
		CONDUIT	WIRE (Copper)	CONDUIT	WIRE (Copper)	
15A	1 #12	3/4"	3 #12	3/4"	4 #12	
20A	1 #12	3/4"	3 #12	3/4"	4 #12	
30A	1 #10	3/4"	3 #10	3/4"	4 #10	
40A	1 #10	3/4"	3 #8	1"	4 #8	
50A	1 #10	3/4"	3 #6	1"	4 #6	
60A	1 #8	1"	3 #4	1"	4 #4	
70A	1 #8	1"	3 #4	1-1/4"	4 #4	
80A	1 #8	1-1/4"	3 #3	1-1/4"	4 #3	
90A	1 #8	1-1/4"	3 #2	1-1/4"	4 #2	
100A	1 #8	1-1/4"	3 #1	1-1/4"	4 #1	

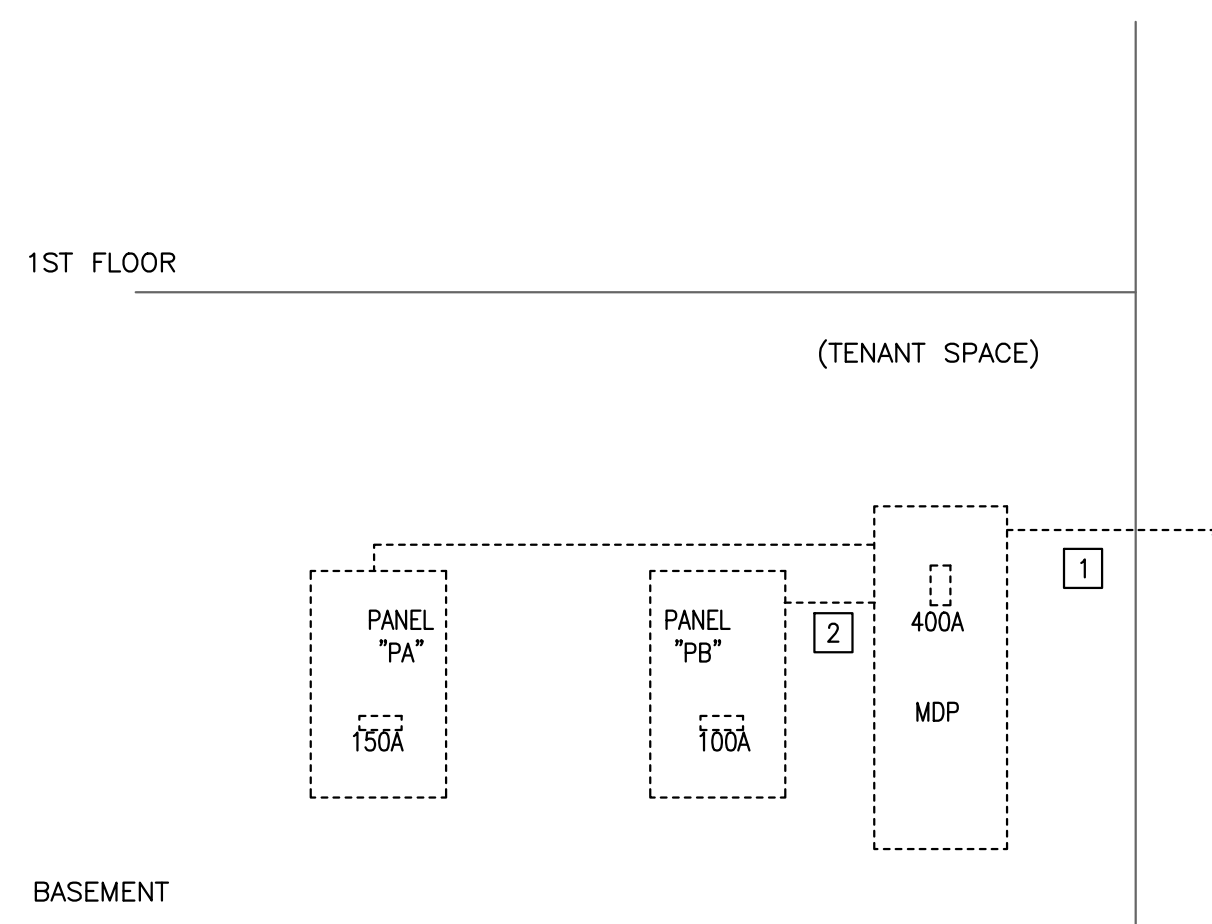
NOTE: ALL SIZES ARE BASED ON CONDUIT LENGTH OF 75 FEET FOR 120 VOLT BRANCH CIRCUITS AND 100 FEET FOR 277 VOLT BRANCH CIRCUITS. IF LENGTH EXCEEDS 75 FEET FOR 120V CIRCUIT THEN USE THE NEXT LARGER WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP.

PANELBOARD (TYP.)			
CIR	LOAD DESCRIPTION	LOAD DESCRIPTION	CIR
1	RECEPTACLE - ROOMS 102,103	RECEPTACLE - ROOMS 104,105	2
3	LIGHTING - ROOMS 102,103,104	LIGHTING - ROOMS 105,106,107	4
5	LIGHTING - ROOMS 108,109		

NOTES :

- LOAD DESCRIPTION SHALL INCLUDE ITEM SERVED - (EX. RECEPTACLE) AND ALSO ITEM LOCATION - (EX. ROOM 102). (VERIFY ROOM NO. WITH ARCHITECT).
- PROVIDE UPDATED DIRECTORY AT THE COMPLETION OF THE PROJECT. LABEL AS "SPARE" ANY SPARE CIRCUITS AND TURN BREAKER IN THE "OFF" POSITION. THIS APPLIES FOR ALL PANELS AFFECTED.

PANELBOARD IDENTIFICATION  
CARD DETAIL  
NO SCALE



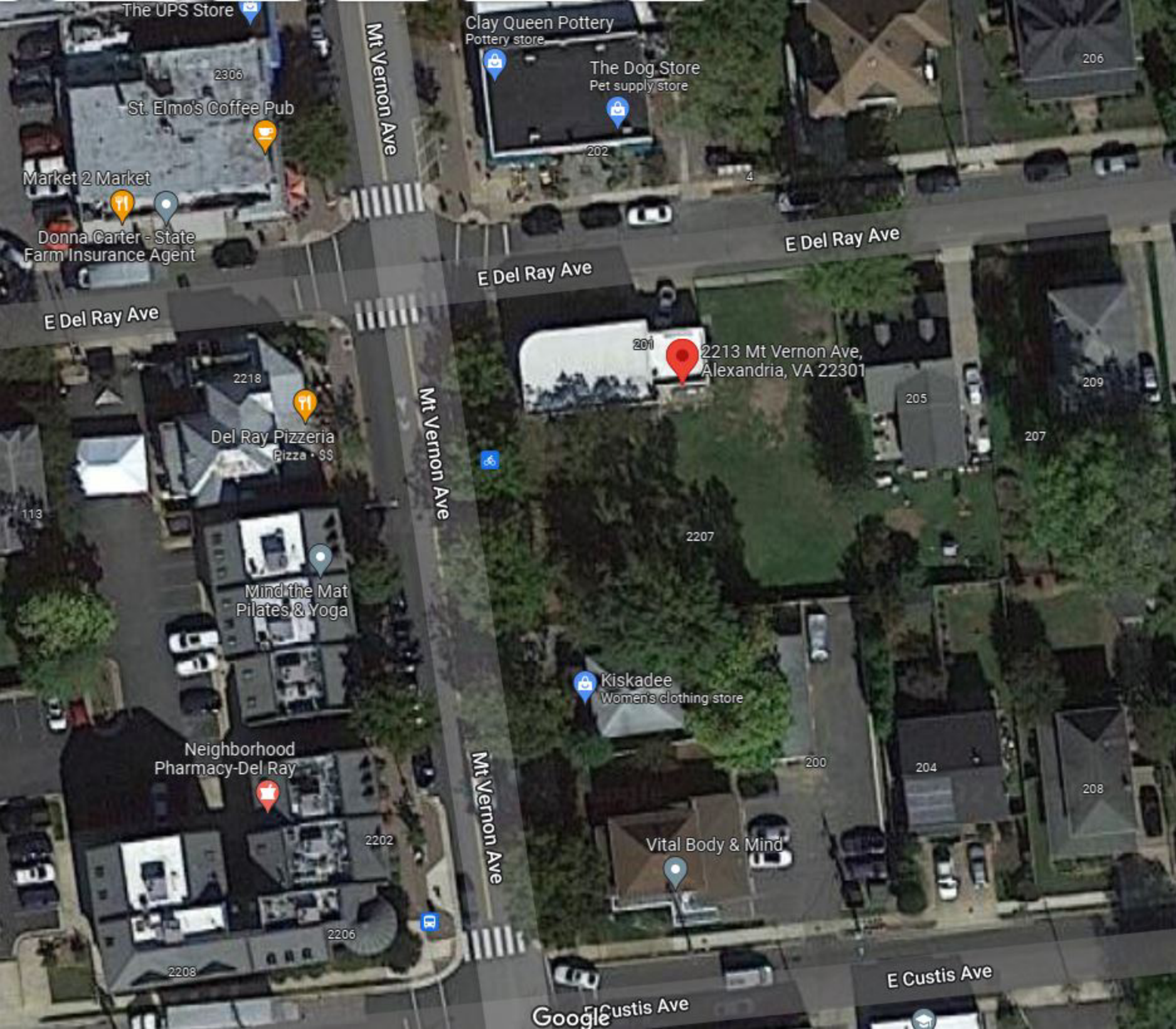
POWER RISER DIAGRAM  
SCALE: NONE

POWER RISER NOTES:

- EXISTING INCOMING ELECTRICAL SERVICE TO REMAIN. 400A, 120/240V, 1φ, 3W
- EXISTING FEEDER (3 #1, + 1 # 6 G. IN 1 1/2" C.)

ELECTRICAL LOAD ANALYSIS:

MDP LOAD ANALYSIS	
EXISTING LOAD ON EXISTING PA PANEL	= 23.6 KVA
EXISTING LOAD ON EXISTING PB PANEL	= 10.0 KVA
FUTURE LOAD ON FUTURE PANEL	= 12.0 KVA
ADDITIONAL NEW CONNECTED LOAD PANEL PB	= 6.2 KVA
TOTAL LOAD ON MDP	= 51.8 KVA
EQUIVALENT TO 215.8A @ 240V, 1φ	
AVAILABLE SERVICE POWER: 400A @ 240V, 1φ	



The UPS Store

2306  
St. Elmo's Coffee Pub

Market 2 Market

Donna Carter - State Farm Insurance Agent

Mt Vernon Ave

Clay Queen Pottery  
Pottery store

202  
The Dog Store  
Pet supply store

206

E Del Ray Ave

E Del Ray Ave

E Del Ray Ave

201  
2213 Mt Vernon Ave,  
Alexandria, VA 22301

205

209

207

Mt Vernon Ave

2218  
Del Ray Pizzeria  
Pizza • \$\$

Mind the Mat  
Pilates & Yoga

Neighborhood  
Pharmacy-Del Ray

Kiskadee  
Women's clothing store

2207

200

204

208

Mt Vernon Ave

Vital Body & Mind

E Custis Ave

Google  
Custis Ave