



# Administrative Special Use Permit Application

Department of Planning & Zoning  
301 King Street, Room 2100, Alexandria, Virginia 22314  
Phone: 703.746.4666 | [www.alexandriava.gov/planning](http://www.alexandriava.gov/planning)

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**PROPERTY LOCATION:** 700 Slaters Ln

**ZONE:** CG

**TAX MAP REFERENCE:** 044.02-03-01

## APPLICANT'S INFORMATION:

**Applicant:** Pupatella RD II, LLC

**Business/Trade Name:** Pupatella

**Address:** 2700 S. Quincy Street, Suite 210

**Phone:** 703-304-0430

**Email:** [epritchard@cozen.com](mailto:epritchard@cozen.com)

## PROPOSED USE:

Animal Care with Overnight Accommodations

Auto Trailer Rental or Sales

Catering Operation

Child and Elder Care Homes

Day Care Center

Health and Athletic Club

Light Assembly, Service, and Craft

Light Auto Repair

Live Theater

Massage Establishment

✓ Outdoor Dining (Other than King Street Outdoor Dining Area)

Outdoor Food and Crafts Market

Outdoor Garden Center

Outdoor Display

Public School Trailers

Valet Parking

Vehicle Parking or Storage for More Than 20 Vehicles

✓ Restaurant

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner, I hereby grant the applicant use of 700 Slaters Ln (property address), for the purposes of operating a Restaurant with Outdoor Dining (use) business as described in this application. I also grant permission to the City of Alexandria to visit, inspect, photograph and post placard notice on my property.

Name: Thien Ung

Phone: 949-891-2380

Address: 7324 VALLEYCREST BLVD

Email: thienu@gmail.com

Signature:



Date: 5/16/2023

1. The applicant is the (check one):

Owner

Contract Purchaser  Lessee or

Other:

of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner and the percent of ownership.

**RD2 ALEXANDRIA, LLC. is 100% owned by PUPATELLA RD II, LLC  
2700 S Quincy St  
Arlington Va.  
22206**

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

**No**

Yes. Provide proof of current City business license

No. The agent shall obtain a business license prior to filing application, if Code.



B. Please give the number of:

15 Parking spaces on-site  
Parking spaces off-site

If the required parking will be located off-site, where will it be located?  
n/a

6. Please provide information regarding loading and unloading for the use:

A. How many loading spaces are available for the use?

Exempt from loading space requirements since the building is less than 2,500 sf. AZO Section 8-200.B.2

B. Where are off-street loading spaces located?

n/a

C. During what hours of the day do you expect loading/unloading operations to occur?

Deliveries will occur before the restaurant is open for service

D. How frequently are loading/unloading operations expected to occur per day?

4 days per week

7. If any hazardous materials or organic compounds (for example paint, cleaning or degreasing solvent), as defined by the state or federal regulations, are stored, or generated on the property, provide the name, monthly quantity, and handling method below:

No Hazardous chemicals are used in our operation

8. What is the square footage the use will be occupying?

2,004 square feet

**APPLICANT'S SIGNATURE**

Please read and initial each statement:

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, submitted in support of this application and any specific the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff to visit, inspect, and photograph the building premises, land etc., connected with the application.

**Print Name of Applicant or Representative** G. Evan Pritchard

**Signature**

2a1dc9f4-cbfb-4842-87bc-e7370e76d552

Digitally signed by: 2a1dc9f4-cbfb-4842-87bc-e7370e76d552  
DN: CN = 2a1dc9f4-cbfb-4842-87bc-e7370e76d552  
Date: 2022.08.15 15:52:08 -0400'

**Date** 9/28/2022

If this application is being filed by someone other than the business attorney), please provide the information below:

Representative's Address: Cozen O'Connor, 1200 19th Street, NW, Washington, DC 20036

Phone: 703-304-0430

Email: epritchard@cozen.com

Fax:



## Department of Planning & Zoning Administrative Special Use Permit New Use Checklist

Application form

Application fee

### Supplemental Worksheet for the following uses:

- Catering Operation
- Child or Elder Care Home
- Day care Center
- Light Automobile Repair, Auto & Trailer Rental or Sales, Vehicle Parking or Storage
- Live Theater
- Outdoor Dining
- Outdoor Display
- Outdoor Food and Crafts Market
- Outdoor Garden Center
- Valet Parking

### Interior floor plan

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

### Contextual site image

Show subject site, on-site parking area, surrounding buildings, cross streets

### If applicable

Outdoor plan for outdoor uses



# SUPPLEMENTAL APPLICATION

## RESTAURANT

All applicants requesting a **Special** Use Permit for a restaurant shall complete the following section.

1. How many seats are proposed?

Indoors: 44

2. Will the restaurant offer any of the following?

Alcoholic beverages

On-premises

Yes  No

Off-premises

Yes  No

3. The restaurant will offer the following service (check items that apply):



table service



bar



carry-out



delivery

4. If delivery service is proposed, how many vehicles do you anticipate? Third party delivery drivers only

Will delivery drivers use their own vehicles?

Yes

No

Where will delivery vehicles be parked when not in use?

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# OLD TOWN RESTAURANT POLICY

## Changes to Old Town Small Area Plan Chapter of the Master Plan Adopted by City Council on November 13, 1993

On November 13, 1993, the City Council adopted Resolution No. 1672, which outlines new policy and criteria used in applying the revised Old Town Restaurant Policy. Individuals who apply for a special use permit to operate a restaurant in Old Town must address in their entirety five criteria in order to be considered for a special use permit. An application will not be formally accepted for processing until this questionnaire is completed.

### GOALS OF THE OLD TOWN RESTAURANT POLICY

1. To lessen the on-street parking impact of restaurants in Old Town and adjacent areas;
2. To prevent rowdiness and vandalism from patrons leaving restaurants, particularly in the late evening; and
3. To control the spread of litter in Old Town.

### POLICIES TO ATTAIN THE GOALS OF THE OLD TOWN RESTAURANT POLICY

City Council shall not approve a request for special use permit for any new restaurant, carry-out or fast food establishment or an expansion of an existing restaurant, carry-out or fast food establishment, unless it finds that the request does not significantly impact nearby residential neighborhoods. City Council shall consider the cumulative impact of the proposal and the number of already established restaurants, carry-outs, fast food establishments and the number of food service seats, bar seats and standing service areas in the immediate area. In the case of an expansion or other intensification, the entire operation of the establishment may be taken into account in determining its impact upon the nearby residential neighborhoods. In making that determination, City Council shall consider the following factors:

- The availability of off-street parking.
- The predicted impact of the restaurant on parking supply in the adjacent neighborhood.
- The extent to which the restaurant is open in the late night hours.
- The extent to which alcohol (such as spirits, mixed drinks, wine, and beer) consumption will predominate over food consumption, including consideration of the number of bar seats, if any, and the standing areas in the vicinity of bars.
- The predicted extent of litter generated in nearby neighborhoods.

### CRITERIA TO BE USED TO EVALUATE NEW OR EXPANDED RESTAURANTS

Parking Management Plan. The applicant must submit a parking management plan (PMP), which specifically addresses the following issues:

- The parking demand generated by the proposed restaurant.
- The availability of off-street parking for patrons. For the purpose of this policy, availability shall be measured in terms of the number of vacant off-street parking spaces within 500 feet from the entrance to the restaurant.
- How employees who drive will be accommodated off the street at least in the evenings and on weekends.
- The predicted impact of the restaurant on the parking supply at the evening, weekend, and daytime peaks.
- A proposal to reduce the impact of parking created by the restaurant on nearby areas. Acceptable alternatives for reducing parking impacts include, but are not limited to, the following: validated parking or valet parking for patrons, and off-street parking or transit subsidies for employees.





**Department of Planning & Zoning**  
**Administrative Special Use Permit New Use**  
**Outdoor Dining Supplemental**

**WORKSHEET – Answer each question. Attach a separate sheet of paper if necessary.**

Describe the outdoor dining arrangement. What type of food service establishment is this associated with?

Outdoor patio with 34 seats and 5 bar seats over an area of approximately 550 sf. This patio will serve Pupatella Neapolitan Pizza restaurant.

**HOURS**

What are the proposed hours for the outdoor dining?

Same as inside the restaurant: Sunday - Thursday 11:30am to 9pm, Friday & Saturday 11:30am to 10pm.

**LOCATION ON PRIVATE PROPERTY**



**Outdoor dining, including seats, planters, wait stations and barriers, must be located on private property unless authorized by an encroachment ordinance.**

Will the outdoor dining be located only on private property? What is the square footage of the outdoor dining area?

Submit a drawing indicating the layout for tables, seats, planters, wait stations and barriers.

*The entire outdoor dining area of 550 sf will be located entirely on private property. See attached drawing. We will use planter boxes as the barriers.*

**NUMBER OF SEATS**



**Only 20 seats may be located at outdoor tables in front of the restaurant.**

How many seats will be included in the outdoor seating?

39 seats are proposed, in compliance with AZO Sec. 11-513.M.3.

**ALCOHOL SERVICE**



**Alcohol service, to the extent allowed for indoor dining, is permitted; no off-premise alcohol sales are permitted.**

Is on-premise alcohol service proposed?

Yes

**OUTDOOR DINING PLAN**



**Please submit a detailed plan with your application**

A plan for layout of the outdoor dining must be submitted for review and approval by the director. The business must maintain compliance with the approved layout. Any changes to the approved layout may require further review by staff.

Parking impacts. Please answer the following:

1. What percent of patron parking can be accommodated off-street? (check one)
  - 100%
  - 75-99%
  - 50-74%
  - 1-49%
  - No parking can be accommodated off-street
  
2. What percentage of employees who drive can be accommodated off the street at least in the evenings and on weekends? (check one)
  - All
  - 75-99%
  - 50-74%
  - 1-49%
  - None
  
3. What is the estimated peak evening impact upon neighborhoods? (check one)
  - No parking impact predicted
  - Less than 20 additional cars in neighborhood
  - 20-40 additional cars
  - More than 40 additional cars

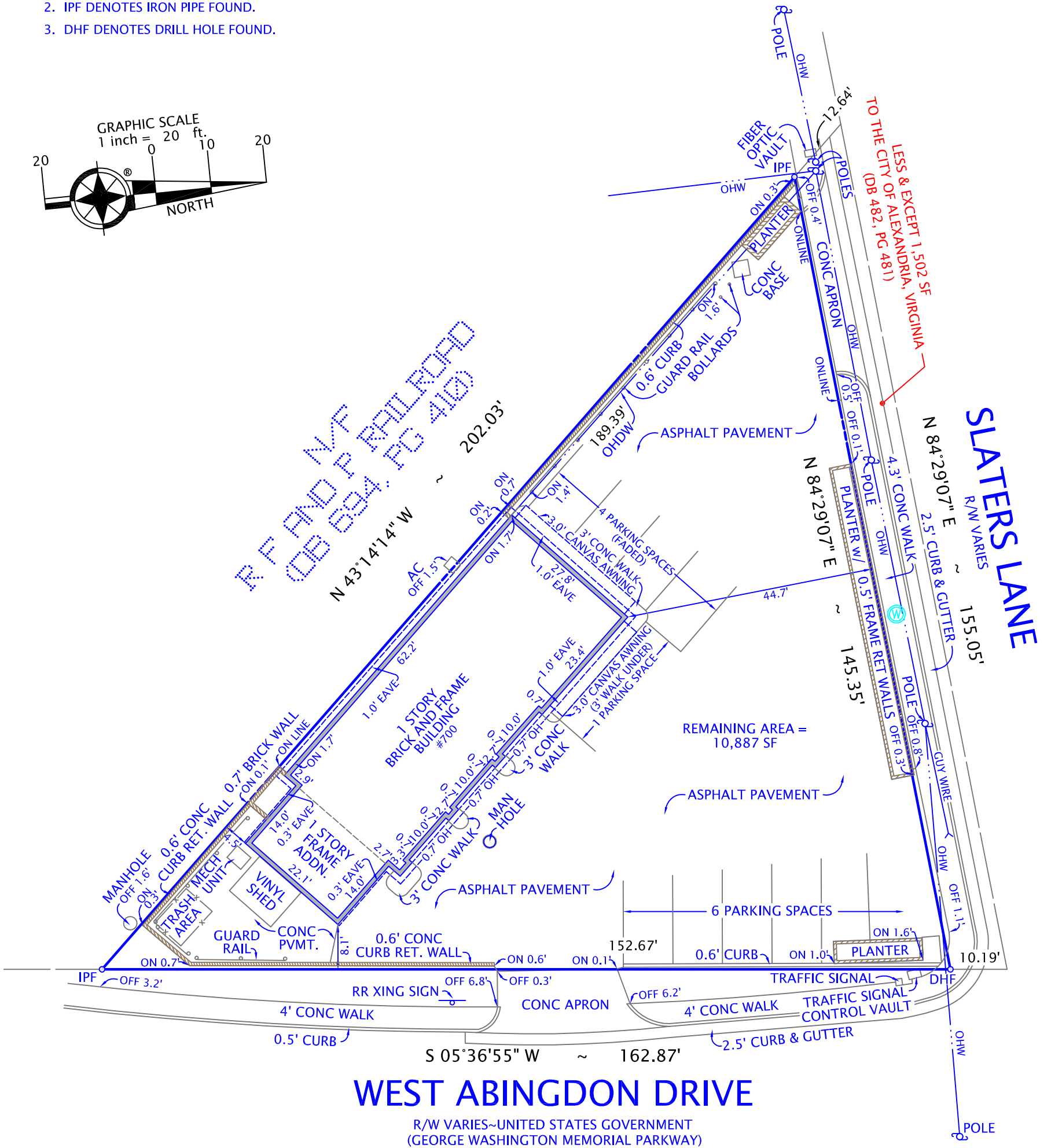
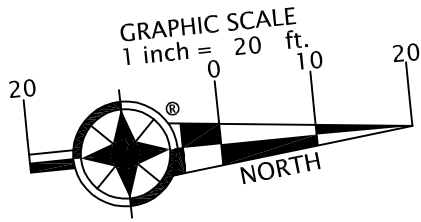
Litter plan. The applicant for a restaurant featuring carry-out service for immediate consumption must submit a plan which indicates those steps it will take to eliminate litter generated by sales in that restaurant.

Alcohol Consumption and Late Night Hours. Please fill in the following information.

1. Maximum number of patrons shall be determined by adding the following:
 

_____	44	Maximum number of patron dining seats	
+	_____	6	Maximum number of patron bar seats
+	_____	0	Maximum number of standing patrons
=	_____	50	Maximum number of patrons
  
2.   8   Maximum number of employees by hour at any one time
  
3. Hours of operation. Closing time means when the restaurant is empty of patrons.(check one)
  - Closing by 8:00 PM
  - Closing after 8:00 PM but by 10:00 PM
  - Closing after 10:00 PM but by Midnight
  - Closing after Midnight
  
4. Alcohol Consumption (check one)
  - High ratio of alcohol to food
  - Balance between alcohol and food
  - Low ratio of alcohol to food

- NOTE: 1. UTILITIES ARE UNDERGROUND.  
 2. IPF DENOTES IRON PIPE FOUND.  
 3. DHF DENOTES DRILL HOLE FOUND.



## WEST ABINGDON DRIVE

R/W VARIES~UNITED STATES GOVERNMENT  
 (GEORGE WASHINGTON MEMORIAL PARKWAY)

### PLAT

SHOWING BUILDING LOCATION ON  
 THE SMALL TRIANGULAR PARCEL OF LAND  
 BOUNDED BY

**SLATERS LANE, WEST ABINGDON DRIVE AND  
 THE R. F. AND P. RAILROAD RIGHT OF WAY**

(DEED BOOK 1347, PAGE 1131)

LESS AND EXCEPT

1,502 SQUARE FEET TO THE  
 CITY OF ALEXANDRIA, VIRGINIA  
 (DEED BOOK 482, PAGE 481)

**CITY OF ALEXANDRIA, VIRGINIA**

SCALE: 1" = 20'

OCTOBER 13, 2022 (STAKED LOT)

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.



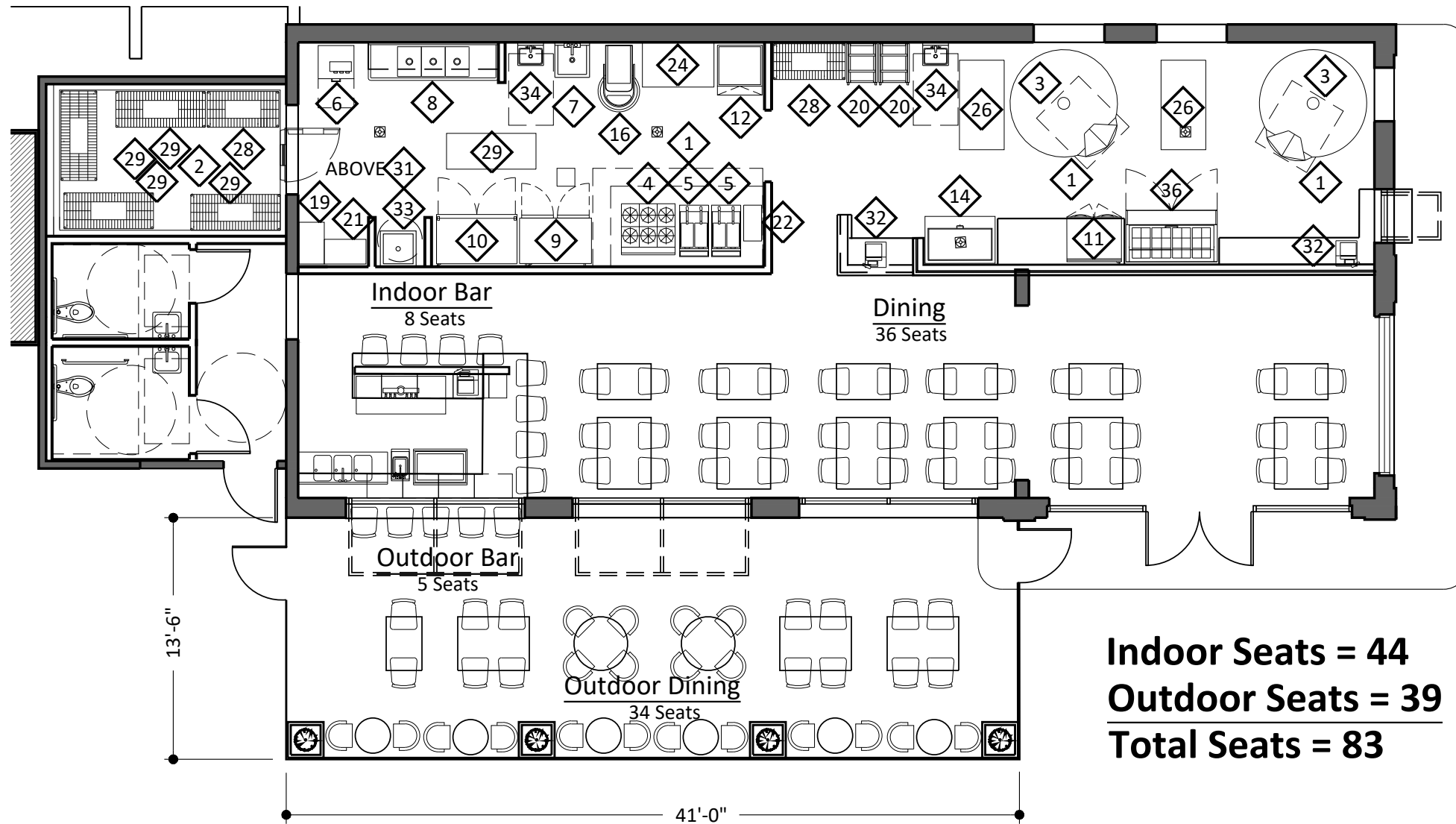
ORDERED BY:

TRAN INVESTMENTS, LLC

**DOMINION** Surveyors Inc.®

8808-H PEAR TREE VILLAGE COURT  
 ALEXANDRIA, VIRGINIA 22309  
 703-619-6555  
 FAX: 703-799-6412

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**Equipment Legend**

1 TYPE I (GREASE) EXHAUST HOOD	25 30x48 WORKTABLE
2 WALK-IN COOLER, 9' x 12'	26 30x60 WORKTABLE
3 WOOD FIRED PIZZA OVEN	27 24x24 RACK
4 36" RANGE - 6 BURNER WITH CONVECTION OVEN	28 24x48 RACK
5 FRYER	29 24x60 RACK
6 DISHWASHER	30 48" GLASS BACK BAR COOLER
7 1 COMPARTMENT SINK	31 H.W.H.
8 3 COMPARTMENT SINK	32 POS STATION
9 TOPPINGS UNIT	33 MOP SINK
10 STANDING FREEZER	34 HAND SINK
11 UNDERCOUNTER REFRIGERATOR	35 UNDER BAR HAND SINK WITH SOAP & TOWEL DISPENSER
12 ICE MAKER	36 REFRIGERATED PREP TABLE
13 ICE BIN	37 BAR 3-COMPARTMENT SINK
14 COUNTER TOP DROP IN FREEZER	38 STAINLESS STEEL SHELF. MOUNTING HEIGHT AT 48" A.F.F.
15 REFRIGERATED COUNTER CASE	39 STAINLESS STEEL MOP RACK. MOUNTING HEIGHT AT 48" A.F.F.
16 SPIRAL FLOOR MIXER (DOUGH)	40 TWO LEVELS OF STAINLESS STEEL 24" HOOK STRIP. MOUNTING HEIGHTS AT 42" AND 66" A.F.F.
17 TAP DISPENSER	41 LIQUOR LOCKER
18 TAP SYSTEM	42 WALL-MOUNTED SERVER RACK
19 BEER MASTER CHILLER MODEL 75	43 BUSINESS SAFE
20 DOUGH RACK	44 4-DRAWER STANDING FILE CABINET
21 BIB RACK	45 GREASE INTERCEPTOR
22 12x24 WORKTABLE	
23 18x48 WORKTABLE	
24 30x24 WORKTABLE	

Test-fit - Option 1

**A1**

9/22/2022 0 2' 4' 8'

